



Domestic Property Surveys

BUILDING SURVEY REPORT

CLIENT

PROPERTY

SURVEY DATE 30 Oct 2024

REF



The format of this BUILDING SURVEY REPORT is consistent with the guidance defined by the
RPSA Survey Inspection & Reporting Standards Edition 1v5.2 November 2020



Domestic Property Surveys



RPSA
Residential Property
Surveyors Association





Index

Section		
1	Introduction	
1.1	About the survey and the report	
1.2	How the survey is carried out	
1.3	Condition Ratings	
1.4	Conflicts of Interest	
1.5	Specific Exclusions for this property	
2	Property Information	
2.1	About the property	
2.2	Overall condition summary	
2.3	External photographs	
2.4	Summary of accommodation	
2.5	Floorplan	
2.6	Energy Efficiency	
3	Conveyancing, Health & Safety and Environmental Related Matters	
3.1	Conveyancing related matters	
3.2	Health & Safety related matters	
3.3	Environmental matters	
4	Outside of the Property	Condition Rating
4.1	Chimney Stacks	3
4.2	Roof Coverings	2
4.3	Rainwater and Above Ground Drainage Fittings	1
4.4	Walls	3
4.5	Windows and External Doors	1
4.6	External Joinery and Finishes	2
4.7	Conservatories and Porches	NA



5	Inside of the Property	Condition Rating
5.1	Roof spaces	2
5.2	Ceilings	2
5.3	Walls	3
5.4	Floors	2
5.5	Chimney Breasts, Fireplaces and Flues	3
5.6	Built-In Fittings	1
5.7	Internal Joinery	2
5.8	Bathroom and Sanitary Fittings	1
6	Services	Condition Rating
6.1	Electricity	HS
6.2	Gas/Oil	HS
6.3	Water	1
6.4	Heating and Cooling	HS
6.5	Drainage	NI
6.6	Other Services	NA
7	External Elements	Condition Rating
7.1	Garaging	2
7.2	Outbuildings and Sheds	2
7.3	Grounds	2
7.4	Common and Shared Areas	NA
7.5	Neighbourly Matters	
8	Addendum	
8.1	About your surveyor	
8.2	Maintenance advice	
8.3	Customer Care	





1.1 - About the survey and the report

Introduction

This report is for the private and confidential use of the client named in the report and for whom the survey is undertaken, and for the use of their professional advisors, and should not be reproduced in whole or in part or relied upon by Third Parties for any purpose without the express written authority of the Surveyor.

This report is produced by a properly qualified surveyor who will provide an objective opinion about the condition of the property which you, as the buyer, will be able to rely on and use. However, if you decide not to act on the advice in the report, you do so at your own risk.

This report tells you;

- about the construction of the property and the history of its development as far as could be ascertained.
- about the condition of the property on the date it was inspected.
- any limitations that the surveyor experienced during the course of the inspection, and the nature of risks that may be present in those areas
- the nature of any significant defects that were found.
- how to approach rectification of defects identified.
- about elements of the property that will require more frequent or costly maintenance than would normally be expected
- whether more enquiries or investigations are needed.

This report does not tell you;

- the market value of the property or matters that will be considered when a market valuation is provided (unless specifically requested and agreed in advance).
- the insurance reinstatement/rebuild cost, or the cost of carrying out repairs or improvements (unless specifically requested and agreed in advance).
- about the nature or condition of any part of the property that is/was specifically excluded from the inspection by prior arrangement not accessible or visible using normal and accepted surveying practices not accessible or visible for health or safety reasons
- about any minor defects that would be anticipated in a property of the type and age being inspected - the nature of such minor defects will vary between property types
- details of defects that would normally be categorised as wear and tear or which would normally be dealt with as a matter of routine maintenance.
- the report is not an asbestos inspection under the Control of Asbestos Regulations 2012.
- any advice on subjects that are not covered by the report. If you need further advice you must arrange for it to be provided separately.
- the condition of services (heating, plumbing, electrics, drains etc.) other than can be determined from a visual inspection and when checking them by operating them in normal everyday circumstances.





1.2 - How the survey is carried out

General

We carry out a thorough visual and non-invasive inspection of the inside and outside of the main building and all permanent outbuildings, recording the construction and defects (both major and minor) that are evident. This inspection is intended to cover as much of the property as reasonably physically accessible. Where this is not possible an explanation is provided in the relevant sections of the report.

The surveyor does not force or open up the fabric, or take action where there is a risk of causing personal injury or damage. This includes taking up fitted carpets, fitted floor coverings or floorboards, moving heavy furniture, removing the contents of cupboards, wardrobes, and/or roof spaces, moving of valuable or delicate objects, etc., operating old, damaged, corroded or delicate fixtures and fittings, removing secured panels and/or hatches or undoing electrical fittings. The under-floor areas are inspected only where there is safe and clear access.

If necessary, the surveyor carries out parts of the inspection when standing at ground level from adjoining public property where accessible. This means the extent of the inspection will depend on a range of individual circumstances at the time of inspection, and the surveyor judges each case on an individual basis.

The Surveyor uses equipment such as a moisture meter, binoculars and a torch, and may use a ladder or extended camera pole to obtain views of flat roofs, and to access hatches or obtain views no more than 3m above ground (outside) or above floor surfaces (inside) if it is safe to do so. The surveyor also carries out a desk-top study prior to the survey inspection and makes oral enquiries, where possible, for information about matters affecting the property.

Services

Where possible, services will be checked for their normal operation in everyday use.

Services are generally hidden within the construction of the property. This means that only the visible parts of the available services can be inspected, and the surveyor does not carry out specialist tests other than through their normal operation in everyday use. The visual inspection cannot assess the efficiency or safety of electrical, gas or other energy sources; the plumbing, heating or drainage installations (or whether they meet current regulations); or the internal condition of any chimney, boiler or other flue. Intermittent faults of services may not be apparent on the day of inspection. If any services (such as the boiler or mains water) are turned off, they are not turned on for safety reasons and the report will state that to be the case.

Outside

The Surveyor inspects the condition of boundary walls, fences, permanent outbuildings and areas in common (shared) use. To inspect these areas, the surveyor walks around the grounds and any neighbouring public property where access can reasonably be obtained. Where there are restrictions to access, these are reported, and advice is given on any defects that may require further investigation. The Surveyor will not normally assume that access to neighbouring properties is granted, though may request permission for access if convenient to do so and considered necessary for a specific purpose, such as following the trail of suspicion to the source of a defect.

The surveyor does not carry out a survey to identify Japanese Knotweed, or other invasive plant species, though will conduct a general assessment of the grounds to locate large or obvious plants, shrubs or trees that could present a risk to the structural safety of the property.

The Surveyor assumes that no treatments or management plans are in place for the control of invasive species unless informed otherwise by the property owners, or their agents.





1.2 - How the survey is carried out (contd)

Outbuildings

Buildings with swimming pools and sports facilities are treated as permanent outbuildings and therefore are inspected, but the surveyor does not report on the leisure facilities, such as the pool itself and associated equipment internally and externally, landscaping or other facilities (for example, tennis courts and temporary outbuildings).

Flats

When inspecting flats, the surveyor assesses the general condition of outside surfaces of the building, as well as its access and communal areas (for example, shared hallways and staircases) and roof spaces, but only if they are accessible from within the property or communal areas.

The Surveyor also inspects (within the identifiable boundary of the flat) drains, lifts, fire alarms and security systems, although the Surveyor does not carry out any specialist tests other than through their normal operation in everyday use. The Surveyor does not identify the nature, safety or suitability of any External Wall Systems or other forms of cladding.

Hazardous substances, contamination and environmental issues

Unless otherwise expressly stated in the report, the surveyor assumed that no harmful or dangerous materials or techniques have been used in the construction of the property. However, the surveyor will advise in the Report if, in his view, there is a likelihood that harmful or dangerous materials have been used in the construction and specific enquiries should be made or tests should be carried out by a specialist.

The surveyor makes desk-top and online investigations of free and publicly available information about contamination or other environmental dangers. The Surveyor will recommend further investigations if a problem is suspected.

The surveyor does not comment upon the possible existence of noxious substances, landfill or mineral extraction, or other forms of contamination other than in a general sense and if free and publicly available information is accessible.

Asbestos

The surveyor does not carry out an asbestos inspection and does not act as an asbestos inspector when inspecting properties that may fall within the Control of Asbestos Regulations 2012. With flats, the surveyor assumes that there is a 'dutyholder' (as defined in the regulations), and that in place are an asbestos register and an effective management plan which does not present a significant risk to health. The surveyor does not consult the dutyholder.

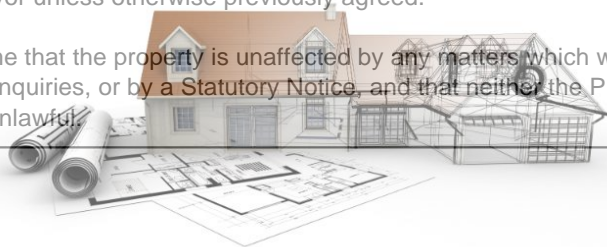
The Surveyor will indicate the presence of materials or surface coatings that are commonly known to contain asbestos, where they are clearly visible. However the surveyor will not undertake any tests to confirm whether they do contain asbestos. See also section 3.2

Consents, approvals and searches

The Surveyor is entitled to assume that the property is not subject to any unusual or onerous restrictions, obligations or covenants which apply to the Property or affect the reasonable enjoyment of the Property.

The Surveyor is entitled to assume that all planning, building regulations and other consents required in relation to the Property have been obtained. The Surveyor did not verify whether such consents have been obtained. Any enquiries should be made by the client or the client's legal advisers prior to exchange of contracts. Drawings and specifications were not inspected by the Surveyor unless otherwise previously agreed.

The Surveyor is entitled to assume that the property is unaffected by any matters which would be revealed by a Local Search and replies to the usual enquiries, or by a Statutory Notice, and that neither the Property, nor its condition, its use or its intended use, is or will be unlawful.





1.2 - How the survey is carried out (contd)

Assumptions

Unless we agree to a different approach with you, while preparing the report we will assume that:-

- The property (if for sale) is offered with vacant possession;
- The property is connected to mains services and you are aware of any matters to do with your right to access those services; and
- you are aware of and accept the basis on which you can access the property.

We will not be liable to you if we make an error or fail to tell you something in the report based on any of the above assumptions.

Legal matters

The surveyor does not act as 'the legal adviser' and does not comment on any legal documents. If, during the inspection, the surveyor identifies issues that your legal advisers may need to investigate further, the surveyor may refer to these in the report.

The report has been prepared by the Surveyor, who has the skills, knowledge and experience to survey and report on the property.

The report is provided for the use of the client(s) named on the front of the report and the Surveyor cannot accept responsibility if it is used, or relied upon, by anyone else.

Nothing in these terms removes your right of cancellation under the Consumer Contracts Regulations 2013.

If the property is leasehold, the Surveyor gives you general advice and details of questions you should ask your legal advisers. This general advice is given towards the back of the report.

Limitation of our liability

We will not be liable to you if we make an error or fail to tell you something in the report as a result of any of the following

- Our inability to inspect an area of the property; or
- Any reliance placed by us on information provided by you or by any person who provides such information on your behalf

If we fail to comply with the terms of this contract we are responsible for loss or damage you suffer that is a foreseeable result of our breaking this contract or our failing to use reasonable care and skill, but we are not responsible for any loss or damage that is not foreseeable. Loss or damage is foreseeable if either it is obvious that it will happen or if, at the time the contract was made, both we and you knew it might happen, for example, if you discussed it with us during the survey process.

Our maximum liability

Our maximum liability to you for our negligence or any other breach or fault on our part arising in connection with the service shall be limited to the cost of your rectifying any defect in the property which under the terms of this contract we should have but did not notify you of or failed to adequately notify you of in the report.

We do not exclude or limit in any way our liability to you where it would be unlawful to do so. This includes liability for death or personal injury caused by our negligence or the negligence of our employees, agents or subcontractors; for fraud or fraudulent misrepresentation.





1.3 - Condition Ratings

The report applies 'condition ratings' to the major parts of the main building, associated habitable structures, and other structures present. The property is broken down into separate elements, and each element has been given a condition rating 1, 2, 3, HS or NI – see more on definitions below.

To help describe the condition of the home, condition ratings are given to the main parts (the 'elements') of the building, garage, and some parts outside. Some elements can be made up of several different parts.

The condition ratings are described:-

Condition Rating 1

Only minor or cosmetic repairs, or no repairs at all are currently needed. Normal maintenance must be carried out. It is anticipated any repairs identified would be rectified during a programme of normal maintenance, and you should budget accordingly.

Condition Rating 2

Repairs or replacements are needed but these are not considered to be serious or urgent. However, you should obtain quotations for any works identified prior to exchange of contracts if purchasing the property.

Condition Rating 3

These are defects which are either serious and/or require urgent repair or replacement or where it is felt that further investigation is required, for instance where there is reason to believe repair work is needed but an invasive investigation is required to confirm this. A serious defect is one which could lead to rapid deterioration in the property, or one where the building element has failed or where its imminent failure could lead to more serious structural damage. You should obtain quotes for additional work where a condition rating 3 is given, prior to exchange of contracts, if purchasing the property.

Condition Rating HS

These are actual or potential health and safety risks identified at the property which you should consider carefully. In some instances a matter which has been identified will require specific testing of services such as electricity or gas to confirm that they are safe to use, but in other instances it may refer to hazards for which there is an increased risk of harm to those using the property. The level of risk may depend on a number of factors including the age, mobility and vulnerability of occupants. You should consider any health and safety measures identified within this report and commission any further tests or investigations prior to exchange of contracts if you are purchasing the property. You should also consider how the risks identified may affect your personal use of the property.

Condition Rating NI


Not inspected. Indicates an element of the property that could not be inspected due to some restriction of access or view, or by previous arrangement.

Condition Rating NA


Not applicable – this element is not present at the property or is included within another section of the report.

Where the surveyor has identified that repairs, or further investigations, are required, you should obtain quotations and/or reports prior to exchange of contracts to ensure that you are aware of the cost of any works before you are committed to purchase the property.



	Section - 1.4/1.5 - Additional Information for this Survey
Conflicts of Interest	<p>A conflict of interest is anything that impedes or might be perceived to impede an individual's or firm's ability to act impartially and in the best interest of a client.</p>
	<p>There are no known relevant conflicts of interest</p>
Specific Exclusions	<p>Areas which are excluded from the inspection and report by prior arrangement</p>
	<p>There are no areas of the property excluded from the extent of the inspection at the request of the client</p>



	Section 2 Property information 2.1 - About the property
Seller Information	The property owners were not present for any part of the survey. The keys were collected from the agents.



<p>General Construction Information</p>	<p>The property is a semi-detached residence arranged over two floors, which was probably originally built in the mid nineteenth century. It is a mix of stone and brick construction and the roof is a traditional cut timber structure covered in Kent clay peg tiles. The windows are all uPVC double glazed units and the ground floor is of solid construction.</p> <p>A two storey extension has been added to the rear and consists of modern cavity construction. You should confirm that the alterations have appropriate planning consents and Building Regulation certification, where applicable, through your legal adviser prior to exchange of contracts.</p> <p>It is assumed that there are no hazardous substances or other deleterious materials used on the construction of this property. Where potential asbestos containing materials have been identified, these are mentioned in the main body of the report.</p> <p>A pitched roof is usually a simple inclined beam structure, on a timber frame. The structure supports loads imposed on the roof from the weight of the materials and external elements such as wind and snow. These loads are transferred to the support point on the load bearing walls.</p> <p>Walls are typically conventional load bearing masonry which transfer loads to the foundations. With cavity wall construction most of the load is carried by the internal leaf of the brickwork or blockwork. The external leaf provides stability to the load bearing inner leaf by increasing its overall thickness and also provides weather-proofing. Solid walls rely on the thickness of the material to prevent weather penetration. The principle is that weather hitting the wall will be soaked up by the masonry. Provided that the wall is not too exposed and that there is sufficient heat and air movement, the water will evaporate away before it penetrates completely through to the wall. If the walls are particularly exposed or inadequately maintained penetrating dampness may occur. Thin walls are more vulnerable to penetrating dampness.</p> <p>Where there are openings in the walls, either brick arches, beams or lintels should transfer the weight from above and around the openings to the support point. The thrust created at the support point is resisted by the weight of the masonry on each side of the opening. Dependent upon the orientation of the elevations, different parts of the building can be more prone to external factors. For example, warm and wet winds typically come from the west and south-west, which are likely to create the potential for weathering and penetrating dampness and rot. North and north-eastern elevations tend to be more cold and relatively dry, although can be more prone to the weathering effect from frost damage or condensation. Moss build-up on roofs, which can wash off into gutters, is also likely to be more pronounced on north and north-eastern elevations. South and south-westerly elevations are generally more exposed to high temperatures during the day and weathering, such as expansion or cracking in masonry or paint finishes, is a possibility.</p> <p>There was no information available to view on the councils planning website to confirm any construction or conversion dates or details.</p> <p>The British Geological Website indicates that the bedrock geology is of Weald Clay.</p> <p>References in the report refer: The front of the property is deemed as roadside. The left and right of the property are as standing outside facing the front door. Room names are referenced from the floorplan supplied.</p>
--	--



Council Planning Information	No specific information for this property was available on the public areas of the council planning website section.
Listing	According to Historic England the property is not listed.
Nature of the property when inspected	The property was occupied, habitable and fully furnished. All connected services were operational.
Summary of mains services	Gas – Connected to Mains Electricity – Connected to Mains Drainage – Connected to Mains Water – Connected to Mains
Weather Conditions	At the time of the survey, it was dry.
Local Authority	The property is within the area of Maidstone Borough Council.
Conservation / AONB / National Parks	The property is in a Conservation Area.
Heating	A full central heating system is installed with a gas-fired boiler supplying hot water to radiators throughout the property. The boiler was not inspected in detail and should be examined by a suitably qualified engineer in accordance with the manufacturers' guidance.
Outside facilities	A single detached garage was located to the rear of the property. The gardens extend to the front and rear of the property. There is a patio area to the rear of the property covered in paviors and a raised terrace at the front of the property covered in clay tiles. There are 2 timber sheds, a timber Summerhouse and a Greenhouse in the rear garden.
Renewable Energy Services	There are no renewable energy services installed at the property.



Broadband Service	I have not carried out an assessment of broadband speeds for this property. If this is important to you, it is essential you check with your preferred broadband provider or request a speed test at the property when you visit and certainly before you commit to the purchase.
Tenure	The property is understood to be of freehold tenure and with vacant possession but your conveyancer should confirm this to be the case.





Section 2 Property information

2.2 - Summary and Issues

This section is a summary of matters that are of particular interest but you should consider ALL information contained in this report.

General

This property is considered to be a reasonable proposition for purchase provided you are prepared to accept the cost and inconvenience of dealing with the various repair/improvement works reported. These deficiencies are common in properties of this age and type. Provided that necessary works are carried out satisfactorily, I see no reason there should be any special difficulty on resale in normal market conditions. Just so you know, this survey is not a valuation and our recommendation is based solely on the condition of the property.

Building regulations approval should have been granted for the work carried out to extend the property to the rear and the council should have issued completion certificates, stating that all Building Regulations were complied with up until the completion of each individual project. These documents may exist but were not available to view on the day of the inspection.

In the absence of any independent warranties, either from contractors or other interested parties, an Architect's Certificate of Completion for the various extensions should also have been issued.

It should be noted that in any property of this age there will be general unevenness of the surfaces and structures of walls, floors, ceilings, doors, windows and other elements. These have occurred due to settlement of the structure and general usage over an extended period. It is not possible to highlight each individual example of such distortions and only those felt to be of an unusual nature have been highlighted.



<p>Main Issues</p>	<p>1)High moisture levels were recorded at the base of the party wall in the dining room as well as the chimney breasts in the rear bedroom,which is likely to need remedial work.A reputable damp-proofing contractor should be contacted for advice as to what remedies should be applied and quotations should be obtained for any necessary remedial treatment and associated works such as replastering.</p> <p>2)Two keystones that form the lintel above the front door and the front lounge window have slipped and there are cracks in the stonework at the front corner of the external wall.Both of these will have to be either repaired or monitored further.</p> <p>3)Although there were no areas of immediate concern, there were no signs of a recent test of the electrical installation and therefore you should instruct an NICEIC registered electrician to complete a test prior to purchase.</p> <p>4)A test of the gas installation and gas fired boiler by a suitably qualified heating engineer/Gas Safe registered contractor should be undertaken.</p> <p>5) A reputable roofer should investigate further the cost of chimney repairs and provide quotations for work.</p> <p>6) You should make exhaustive enquiries of the Local Authority and whether Local Authority consents have been sought and complied with in extending and/or altering the property.</p> <p>7) Where Local Authority consents have not been required for the alterations to the property, you should confirm the alterations were completed with the benefit of the usual permitted development rights.</p>
---------------------------	---



<p>Dampness Summary</p>	<p>Dampness can occur for a variety of possible reasons:-</p> <p>Rising dampness is where a damp proof course within the external and internal walls is either not present, has failed, or has been breached by high ground levels. It is where ground-based moisture rises up a wall to a maximum height of 1m.</p> <p>Penetrating dampness is where moisture penetrates from outside through a wall or roof element. This can include a roof tile failure, an open chimney, a gutter failure, driving rain through a solid wall, high ground levels, failed window seals, and poor external drainage.</p> <p>Cold bridging is generally where cold spots are created at the base of internal walls due to the proximity to another cold surface (such as a solid floor) - internal airborne moisture is then attracted to the cold spots which condense.</p> <p>Condensation is moisture produced by washing, cooking and bathing etc., carried by air as vapour, and which settles on colder surfaces, often around windows or on cold walls and ceilings, resulting in stains and mould growth. It is often present where there is a lack of good ventilation, heating and insulation.</p> <p style="text-align: center;">----- o O o -----</p> <p>Moisture meter readings were taken internally at regular intervals, about 40/50 per room, where access permitted, throughout the property. They were taken from areas such as the internal face of all external walls, party walls, ground floor, ceilings, chimney breasts, around windows, around all water using fittings, and in the loft space. (This is not an exhaustive list).</p> <p>These readings were taken by an electronic moisture meter which when used on masonry takes readings which aren't quantitative, therefore, it cannot accurately measure damp in walls. My assessment is therefore merely an interpretation of instrumental readings and visual observations made during the survey</p> <p>Where distress has been caused to the plaster, hygroscopic contamination and efflorescent surface salting may have been the cause. Hygroscopic contamination is, in theory, a form of dampness, however, the moisture present isn't the result of groundwater or penetrating damp, but from moisture within the air which is attracted to the surface of the wall due to contamination. Whilst hygroscopic contamination is clearly damaging to the plaster and internal decorations, there's very little risk of decay or severe damage to the structure as would normally be associated with other forms of dampness.</p> <p>The only way to rule out(or alternatively to rule in) damaging moisture penetration would be to commission an intrusive survey of the area involved through a competent contractor.</p> <p>High moisture levels were recorded at the base of the party wall in the dining room as well as the chimney breasts in the rear bedroom</p>
<p>Structural Summary</p>	<p>Two keystones that form the lintel above the front door and the front lounge window have slipped and there are cracks in the stonework at the front corner of the external wall.</p>
<p>Health & Safety related matters</p>	<p>There is no evidence of recent inspection of the electrical or heating systems, but certification may be available. See also 6.1 and 6.2.</p>





2.3 - External Photographs



Front Elevation



Side Elevation





Rear Elevation





2.4 - Summary of Accommodation

	Reception Rooms	Bedrooms	Bath/ Shower	Sep WC	Kitchen	Utility	Conservatory / Sun room	Other	Integral Garage
First Floor		3	1						
Entrance Level	2			1	1				

The approximate living area of the property, excluding outbuildings, is 95m²





2.5 - Floorplan



floorplan

Floorplan for illustrative purposes only. Not to scale. Not to be used for estimating or measuring purposes





2.6 - Energy Performance

The Energy Performance Certificate (EPC) is obtained from the publicly accessible national database where one has been lodged. There may be no requirement for an EPC to be prepared for some property types and circumstances, in which case none is provided. The surveyor considers the contents of the EPC and provides information about energy efficiency measures that could be implemented.

The Energy Performance Certificate (EPC) for the property, which was not prepared by me, shows a current efficiency rating of 65, band D. The potential rating is given as 86, band B. The rating as provided for this property is above the UK average. We have obtained the complete 4-page EPC document should you wish to see a copy.

The property already benefits from cavity wall insulation, roof insulation, a modern boiler and efficient heating controls.

Further improvements can be gained by employing renewable energy sources such as Solar and PV panels for hot water and electricity generation.

Before commencing any work you should ensure that all statutory permissions have been obtained for any changes you wish to make to your property.

Energy rating and score

This property's energy rating is D. It has the potential to be B.

[See how to improve this property's energy efficiency.](#)

Score	Energy rating	Current	Potential
92+	A		
81-91	B		86 B
69-80	C		
55-68	D	65 D	
39-54	E		
21-38	F		
1-20	G		

The graph shows this property's current and potential energy rating.

Properties get a rating from A (best) to G (worst) and a score. The better the rating and score, the lower your energy bills are likely to be.

For properties in England and Wales:

- the average energy rating is D
- the average energy score is 60





Section 3 - Conveyancing, Health & Safety and Environmental Matters

3.1 - Conveyancing Related Matters

This information should be highlighted to your conveyancer.

This may not include all relevant issues but is an indication of those matters that were apparent to the surveyor, who is not legally qualified. Legal documents will not have been examined during the course of preparation of this report.

Extensions & Alterations	Extensions: 2 storey to rear Conservatory: None noted Loft Conversion: None noted New Boiler: A modern condensing boiler has been installed Chimney / Breast Removals: None noted Wall Removal: None noted Post-2002 Windows: 12 windows and 1 door Log Burner Installation: Yes Electrical Circuits: None noted Renewables: None noted Drainage: None Noted
Access & Rights of way	There are no shared vehicular access rights affecting the property
Easements & Wayleaves	None noted, but your conveyancer should be consulted.
Property Let	No
Tree Preservation Orders	No
Party Wall Award	None
Drainage	No issue noted by surveyor



Boundaries and Title Deeds	<p>The Land Registry holds a map, called the Title Plan, which is the Government's official register of the location of a property. Although it shows the boundaries of the property, normally in a red line, they are only an indication of the location of the boundaries and are not specific or highly accurate. The line drawn on the plan may be 1 mm wide at a scale of 1:1250, giving an accuracy of significantly less than 1 metre on the ground.</p> <p>In most cases, this is the only official recognition of the boundaries of a property.</p> <p>No detailed measurements were taken to establish the precise location of any boundary, and, if concerned, you should seek further advice from a boundary dispute specialist, particularly if planning to make alterations that might be immediately adjacent to, or affect, the boundaries.</p> <p>Determining the precise location of a boundary can be a very lengthy and expensive process, and can result in disputes arising between neighbours.</p> <p>Similarly, the Land Registry title documents rarely indicate who is responsible for the maintenance, repair or replacement of a particular boundary fence or wall. And although existing neighbours may believe that an arrangement is officially recorded, it is usually the case that no such information is given within the title plan or register, and that most boundary fences and walls are of shared responsibility.</p> <p>You should check the title deed as supplied by your legal advisor against the actual property layout on the ground.</p>
Common and Shared Areas	<p>No common or shared areas noted by surveyor</p>





3.2 - Health & Safety related matters

A full Health & Safety risk assessment of the property and grounds was not conducted, however any matters noted during the survey which could increase the risk of accidents or injury are reported here.

Fire Risk	Although smoke alarms are fitted at the property they have not been tested. You should ensure that there are sufficient devices fitted at the property and that they are all in good working order.
Safety Glass	No issue noted by surveyor
Lead	A visual inspection was carried out and no visible evidence of their presence was found but pipes buried within walls or beneath the ground would remain undetected.
Risk of Falls	Stairs Steepness: No Issue Noted Stairs Handrails: No Issue Noted Stairs Balustrades: No Issue Noted Window Cill heights: No Issue Noted Unprotected Balconies: No Issue Noted Trip Hazards: No Issue Noted
Unsafe Fittings	No issue noted by surveyor
Insect and Rodent Infestations	No evidence of rat/mice droppings were seen in the roof space, but these could be hidden under insulation or other stored materials.
Recent testing of services	There is no evidence of recent inspection of the electrical or heating systems, but certification may be available. See also 6.1 and 6.2.



Asbestos

This report is not an asbestos inspection under the Control of Asbestos Regulations 2006 and no specific testing to detect the presence of asbestos has been conducted.

Based on a visual inspection only, the Surveyor noted that the garage was covered in a corrugated material that was likely to contain asbestos material.. We didn't note any other construction materials and products used at the property containing asbestos. However, this does not preclude that their presence may be hidden behind other surface materials.

The following should be noted:-

No specific tests have been carried out to confirm the presence or absence of asbestos in any materials, and so any references are an assumption based on the type and age of material seen. None of the materials seen was in a condition that would give any cause for concern, even were they to contain any asbestos. Asbestos only poses a risk where airborne fibres are present and none of the materials seen was seen to be damaged in a way that would release fibres.

Asbestos-containing materials were commonly used in the construction, conversion and refurbishment of houses in the 1950s-70s, though the use of asbestos was not completely prohibited until the late 1990s. Many houses, therefore, include materials that contain asbestos and are lived in safely and without risk to health. However, you should be aware that there are health risks when asbestos-containing materials are drilled or sanded and you should consider this when carrying out any alterations, repairs or renovations.

Any such materials should not be drilled or disturbed without prior advice from a licensed specialist. You can obtain further information from the Health & Safety Executive asbestos site <http://www.hse.gov.uk/asbestos/index.htm>





3.3 - Environmental Matters

A full environmental assessment of the property and grounds was not undertaken. Publicly available information is reproduced herewith, and may be supplemented by a more detailed search which can be commissioned by your conveyancer.

Flood

The property is not in an area of high flood risk

2, Wheelers Lane, Linton, Maidstone, ME17 4BL

This information tells you the flood risk of an area, not a specific property.

We have [paused updates to information about flood risk](#) from rivers and the sea and surface water while we get ready for new data.

[▶ How we assess an area's flood risk](#)

Surface water

[More about your surface water flood risk](#)

Yearly chance of flooding

Very low Low Medium High

What surface water is

Surface water flooding is sometimes known as flash flooding. It happens when rainwater cannot drain away through normal drainage systems.

[▶ Why surface water flooding is a problem](#)

Rivers and the sea

[More about your rivers and sea flood risk](#)

Yearly chance of flooding

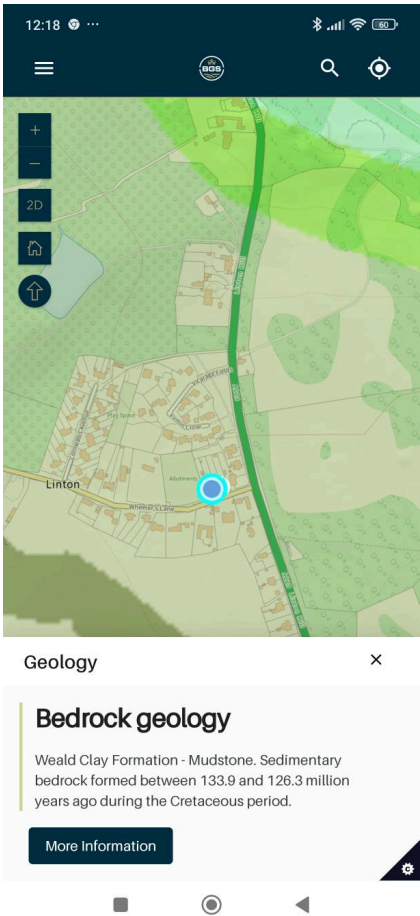
Very low Low Medium High

flood

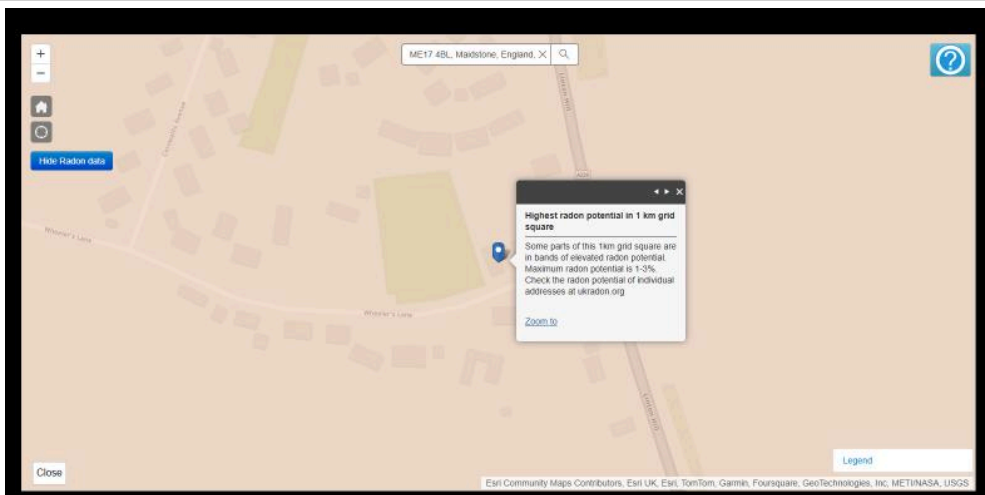
Geology

The British Geological website indicates the ground is of Weald Clay formation which is a flexible base and some slight seasonal movement is to be expected. See further comment in section 4.4

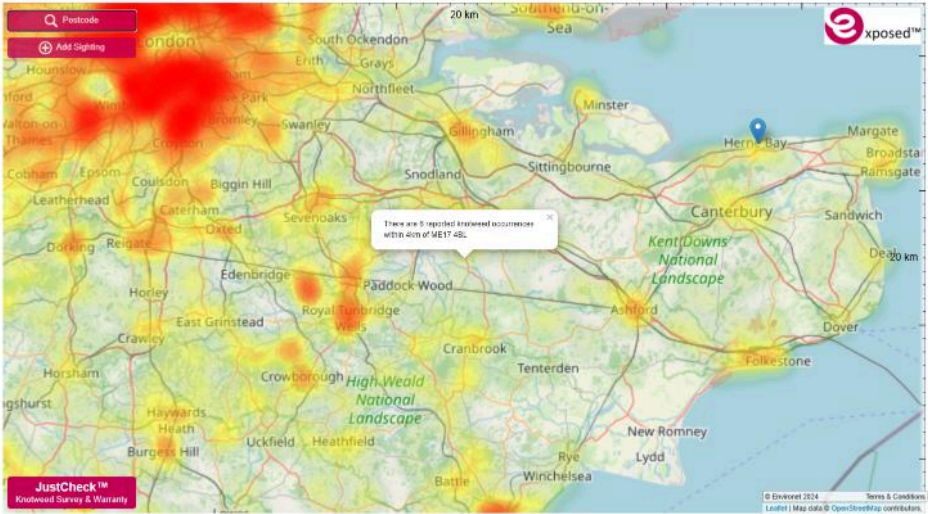


	 <p>Geology Map</p>
<p>Radon</p>	<p>Every building contains radon but the levels are usually low. The chances of a higher level depend on the type of ground. Public Health England has published a map showing where high levels are more likely.</p> <p>In this case the risk of higher than normal radon levels is between 1% and 3%</p> <p>see</p> <p>https://www.ukradon.org/information/risks</p> <p>for further information</p>



	 <p>radon</p>
Fracking	<p>The Oil & Gas Authority (OGA) operates a website that provides information about the location of oil and gas deposits, wells, and areas where licenses have been granted or offered for exploration purposes. This may include drilling for oil or gas, or the extraction of shale gas, commonly known as fracking.</p> <p>Further information is available from the website www.ogauthority.co.uk</p>
Landfill	<p>No issue noted by surveyor</p>
Invasive Species	<p>The grounds around the house were inspected for any indications of Japanese Knotweed.</p> <p>It should be noted that a full and detailed inspection for the presence of Japanese Knotweed cannot be carried out especially where the gardens are well stocked or have been recently cut and maintained. No evidence of the presence of Japanese Knotweed was seen during my inspection but you are advised to seek further advice if you believe it may be present or are aware that it is present in premises nearby.</p> <p>There have been 6 reports of japanese knotweed within 4km of the property</p>



	<div><p>knotweed</p></div>
Mining	Not located above a coalfield.





Section 4 - Outside of the Property

Scope of survey

The following was carried out:-


A visual non-invasive inspection of the outside of the main building and permanent outbuildings from various points within the boundaries of the property and from public areas such as footpaths and open spaces, without entering neighbouring private property unless permission had been expressly granted.

High level features were inspected either from points within the property using binoculars, a ladder or other equipment, where safe to do so. A ladder, or other equipment, was used to view or photograph areas not visible from the ground.

Because of the risk of falls or of causing damage, flat roofs were not walked upon.

4.1	Chimney Stacks
4.2	Roof Coverings
4.3	Rainwater and Above Ground Drainage Fittings
4.4	Walls
4.5	Windows and External Doors
4.6	External Joinery and Finishes
4.7	Conservatories and Porches



	4.1 Chimney Stacks	Condition rating	3
Construction & Type	<p>The chimney stacks to the front and rear are brick-built. The front stack provides a flue to the wood burning stove in the sitting room. The flashing at the base of each stack at the junction with the roof slopes is of lead.</p> <p>The central heating boiler, located in the kitchen, has a fan-assisted flue, which discharges via the adjacent external wall.</p> <p>As both sets of chimney stacks are shared with the adjoining property, they would be classified as a 'party structure' and The Party Wall Act 1996 may apply if work needs to be carried out in the future.</p>		
Nature of inspection and Limitations	<p>The chimneys were examined from ground level for possible defects including undue movement, distortion, chemical or weather-related damage, brickwork, render and pointing damage and other evidence of failure.</p> <p>Due to limited viewing angles, it is not possible to see all faces of the chimney stacks from ground level, and it is assumed that the condition of those faces not visible is similar to that of the visible faces.</p>		
Condition	<p>The visible brickwork is in a reasonable condition for its age and there is no evidence of significant spalling or sulphate attack. The mortar that joins the bricks together is in a fair condition and the lead flashing, which is located between the base of each stack and the slope of the roof, helping to prevent water penetration, is in a satisfactory condition.</p> <p>As the moisture levels of the upper section of the chimney breast directly below the rear stack in the rear bedroom are extremely high, it is reasonable to deduce that water is entering the stack and permeating to the area below and not being prevented from doing so by effective barriers.</p> <p>Repair works at high level would generally cost more than works at low level, as specialist access equipment such as scaffolds, long ladders or hydraulic platforms may be required. Other parts of the property close to the affected area may also have to be disturbed to carry out the repair, which would also increase the cost.</p>		
Action Required	<p>The chimney stack should be regularly monitored for any indications of damage, instability or other defects. Missing, loose or defective mortar should be re-pointed as necessary.</p> <p>Further investigation will be required to determine the exact cause of water ingress into the chimney breast directly below the stacks and quotes should be obtained for providing satisfactory remedies.</p>		





Rear stacks




Rear stack





Main chimney Stack



	4.2 Roof Coverings	Condition rating	2
Construction & Type	The main roof is of pitched design and is covered with Kent clay peg tiles and finished with half round ridge tiles bedded in mortar.		
Nature of inspection and Limitations	The roof pitches were examined from ground level for possible defects including sagging, collapse, broken/missing/damaged tiles, holes, and other evidence of failure.		
Condition	<p>The roof and ridge tiles are in a fair condition for their age but ongoing slippage seems to be in progress which is not unusual for a roof of this type.</p> <p>It is likely that the fixings for the tiles in the original roof are not as secure as they once were.</p> <p>The verges are in reasonable order and there is no evidence of movement.</p> <p>Weathering and discolouration are both consistent with age and degree of exposure.</p>		
Action Required	<p>Any slipped, missing or broken tiles on the roof pitches should be repaired and replaced. You should carry out a thorough visual inspection at least once a year, ideally in the Spring to identify and repair any damage that could have been caused by winter weather. Any missing mortar at the verges and beneath any hip or ridge tiles should be replaced. Any moss or other accumulated plant matter should be cleared.</p> <p>It is important to understand that a roof of this type, age and structure will require constant maintenance and repair and that an adequate budget should be set aside to address this.</p>		





Front roof



Front roof






side roof




Rear roof



	4.3 Rainwater and Above Ground Drainage Fittings	Condition rating	1
Construction & Type	The rainwater gutters and downpipes are uPVC throughout and the soil pipe to the rear of the property is also PVC.		
Nature of inspection and Limitations	<p>An inspection was carried out from ground level to look for possible areas of leakage, misalignment, overflow and other defects. The soil stacks and gulleys were examined for any signs of damage, leakage, correct supports, cracking and evidence of significant wear.</p> <p>Please note it was not raining heavily during the course of the inspection so we cannot confirm that rainwater goods are watertight or suitably aligned. It is recommended the gutters and downpipes are observed during rain and any leaking joints re-sealed or replaced as necessary.</p> <p>No tests have been carried out to either trace or establish the structure or condition of any underground soakaways.</p>		
Condition	<p>The gutters are currently in fair condition and alignment. There were no significant leaks or blockages noted but all gutters require examining periodically and clearing of moss, leaves and silt which will inevitably accumulate.</p> <p>All gulleys were clear at the time of the survey with no evidence of any flooding or other drainage problems. However, all gulleys require regular clearing of any debris that will accumulate over relatively short periods of time.</p> <p>The soil stack and associated plumbing are in fair condition with no leakages noted.</p>		
Action Required	Gutters and downpipes should be cleaned and inspected regularly to ensure that they are free from blockages and leaks. If it is noted during any heavy rain, that gutters or downpipe joints are leaking, then these must be fixed as soon as possible to prevent water penetration to the property and damage to the foundations.		



	4.4 Walls	Condition rating	3
Construction & Type	The main walls are a mix of solid stone and brick cavity wall construction. Solid walls are structurally robust but can be prone to problems of rain penetration and condensation compared with modern cavity walls.		
Nature of inspection and Limitations	The external walls were examined from ground level from vantage points within the grounds of the property and suitable public areas around. The walls were examined for signs of bowing or leaning, damaged brickwork and pointing, cracking, indications of subsidence and land failure and other defects.		



<p>Condition</p>	<p>Foundations I have not undertaken exposure of the foundation structures during the course of my inspection, as this generally proves impractical in a building survey of this type.</p> <p>Whilst I am unable to confirm the depth to which these foundations bear, taking into account the age of the property it is likely that these remain of shallow formation, and as such are unlikely to be considered consistent with current standards. However, this is applicable to a large proportion of the housing stock and the property should not, therefore, be considered unusual in this respect.</p> <p>Movement Tie bars have been inserted into the original property's structure, presumably in an attempt to prevent any further bowing of the outer walls.</p> <p>Most properties are subject to slight settling down over the years as sub-soil consolidates and adjusts to changes in ground condition. This will frequently result in limited differential movement, which is often expressed as minor cracking or distortion of window and door openings and is rarely of structural significance.</p> <p>The keystones in the arches above the front door and the front ground floor window have both slipped.</p> <p>There are cracks to the stone walls at the front corner of the property, which will need to be carefully monitored.</p> <p>The British Geological website indicates the ground is of Weald Clay formation which is a flexible base and some slight seasonal movement is to be expected. No other evidence of movement was seen other than that which would normally be expected in any building of this age.</p> <p>In all external walls, there should be a damp proof course (DPC) just above ground level. This is an impervious layer present to prevent dampness from rising up the walls from the ground. In modern properties, this is often a plastic membrane but in older properties, other materials such as bitumen felt or slate are often found. Houses built before 1880, or so, usually have no provision to prevent dampness rising up, or penetrating through, the walls. In this case, the PVC DPC can be seen at the base of the rear extension's walls.</p> <p>Wall ties are metal linking plates built into the wall at intervals to hold the inner and outer leaves of the cavity wall together. In older properties, these may have been of wrought iron that has since corroded and failed. In later properties, they may be of galvanised steel, stainless steel or plastic. In the worst-case, their failure can allow the outer leaf to fall away from the inner leaf of brickwork. No evidence was seen in the walls to the rear extension which would indicate any failure of the wall ties and it is therefore assumed that they are in a stable condition.</p>
<p>Action Required</p>	<p>Walls should be examined regularly to inspect for changes in the nature of any cracking or other defects that may become apparent.</p> <p>The keystones in both arches should be repositioned and the cracks to the front walls should be monitored and the cracks filled to prevent any water ingress.</p>





Crack to wall



Crack to wall



Slipped keystone at front



Tie bars at front






Slipped keystone above main entrance



Rear extension




	4.5 Windows and External Doors	Condition rating	1
Construction & Type	The front door is oak and side door from the kitchen and all of the windows are double glazed with uPVC frames.		
Nature of inspection and Limitations	<p>All external doors were checked for normal operation and signs of failure or damage.</p> <p>Windows were examined for general signs of degradation and failure including blown double glazing units and worn seals. Opening was attempted to all windows and all checked for normal operation. The condensation levels in certain weather conditions can disguise evidence of blown double glazed units.</p>		
Condition	<p>Doors No significant defects were noted, all doors operated effectively on opening and closure. All locks functioned correctly.</p> <p>Windows uPVC frames can vary enormously in quality and an assessment of individual design is beyond the scope of this report. They are less suitable for piecemeal repairs whilst stay mechanisms and fixings can require an occasional overhaul. The double-glazed units appear serviceable but will need routine maintenance. Double-glazing has a limited life and is prone to deterioration at edge seals. This can sometimes be recognised by moisture between the panes but its presence is dependent upon atmospheric conditions that are, of course, variable. Such defects cannot always be diagnosed during a single inspection. According to records kept by FENSA (the Fenestration Self-Assessment Scheme, which was set up by the Glass and Glazing Federation (GGF) and other industry bodies in response to Building Regulations for double glazing companies in England and Wales), 12 new windows were installed in 2005. Each of these will carry a guarantee covering materials and labour.</p>		
Action Required	<p>Any blown double glazing units will require replacement and it should also be considered that, where some sealed units within a window have failed, others may also fail in due course.</p> <p>Normal maintenance of frames, hinges and locks is required.</p> <p>Be aware that previous owners may have distributed multiple sets of keys for the windows and doors to individuals not known to you. When purchasing a property, you should consider the cost of replacing all of the door and window locks as soon as possible after you take up occupation. When doing this you should consult your insurers to ensure that you meet their requirements for security, and obtain any discounts that may be available by improving the security of the property.</p>		




fensa



	4.6 External Joinery and Finishes	Condition rating	2
Construction & Type	This includes such items as woodwork at the roof edges, fascias, and trim panels. Decorated areas include such items as windows, doors, walls, timbers at roof edges, porches.		
Nature of inspection and Limitations	<p>Soffits are the horizontal timbers joining the fascia boards to the house walls. Fascia boards are the vertical timbers to which the gutters are normally fixed. Barge boards are the diagonal boards at the roof edge on the gable end of the house. All such materials were examined from ground level for indications of poor maintenance, rot and other damage.</p> <p>Decorations were examined from ground level with the aid of binoculars from vantage points within the grounds of the property and suitable public areas around. Decorations were examined for signs of wear and tear, peeling paint, lack of oiling where applicable and other defects.</p>		
Condition	<p>All of these timbers are reasonably sound, have been maintained and appear to be in a serviceable condition.</p> <p>There are areas where peeling paint is visible to parts of the gutter boards in the extension and the edging boards. Some redecoration is now required or consideration given to replacing all boards noted and soffit boards with modern uPVC equivalents.</p>		
Action Required	Regular maintenance will be required .		



	4.7 Conservatories and Porches	Condition rating	NA
Construction & Type	There is no conservatory or formal porch structure at the property.		





Section 5 - Inside the Property

Scope of survey

The following was carried out:-

A visual non-invasive inspection of all the parts of the property that can be seen without causing damage to the fabric or any fixtures, fittings, possessions or furnishings present at the time of inspection.

Checks for damp using a moisture-measuring meter where possible.

Inspection of the roof structure from inside the roof space where it was safe to access and move around the roof space, but insulation material, stored goods and other contents were not moved or lifted.

Floor surfaces were inspected where readily and safely accessible, but fitted floor coverings and furniture were not moved.


Sound insulation or noise is not commented on.

Personal possessions, including those within cupboards and wardrobes, for example, pictures, mirrors, furniture, and other valuable or delicate objects were not moved.

Secured panels and/or hatches were not removed.

5.1	Roof Spaces
5.2	Ceilings
5.3	Walls
5.4	Floors
5.5	Chimney Breasts, Fireplaces and Flues
5.6	Built-In Fittings
5.7	Internal Joinery
5.8	Bathroom and Sanitary Fittings

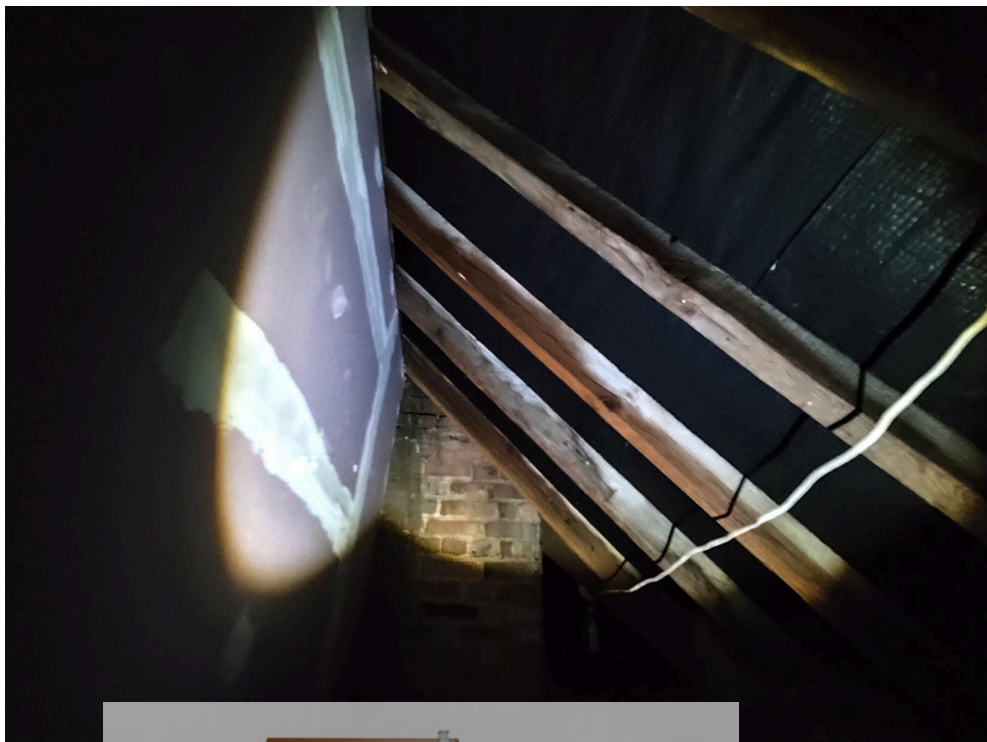


	5.1 Roof Spaces	Condition rating	2
Construction & Type	Both roof sections consist of a traditional cut timber frame comprising rafters spanning from ridge to eaves supported by struts. The sarking felt [undercovering] is bitumen. The insulation is laid to a depth of about 200mm.		
Nature of inspection and Limitations	<p>The roof space was accessed via 2 hatches, one in the rear bathroom and the other in bedroom 1.</p> <p>The roof spaces were examined for signs of bowing, twisting, cracking and failure of roof timbers, signs of failure or damage to the roof covering, infestation including birds, insects, animals and beetles (woodworm), and other defects. The roof spaces were further investigated for any indications of lack of adequate ventilation or suitable firewalls.</p> <p>Due to insulation material covering the joists that would normally serve as footfalls within the loft spaces, movement was limited to the area around the access hatches.</p>		
Condition	<p>The roof structure in the rear extension is in a good condition with reasonable quality timbers throughout. The rafters, purlins and strut timbers are complete with no evidence of any undue stress or cracking. The bitumen under covering (secondary waterproof covering) is complete with no major tears or missing sections.</p> <p>The roof timbers in the original roof section are stained and have been exposed to prolonged dampness and in some cases exposure to moisture directly.</p> <p>The roof spaces are laid with 200-300mm of wool type insulation at joist level. This close to the current recommendation of 270mm for maximum energy efficiency. It does, however, limit movement and storage within the roof space as any supporting joists are concealed.</p>		
Action Required	<p>Regularly monitor timbers for evidence of wood-boring insects and other such infestations.</p> <p>The timbers in the original roof structure will need to be replaced over the coming years and ventilation will need to be improved.</p> <p>Care should be taken when moving around, or storing heavy objects, in the roof space. The spaces between the floor joists will not support a person's weight or that of large boxes etc. Where heavy items are to be stored it is important to distribute the weight evenly using fixed boards. Additional structural support may be required if you plan to store large quantities of heavy items in the roof space.</p>		

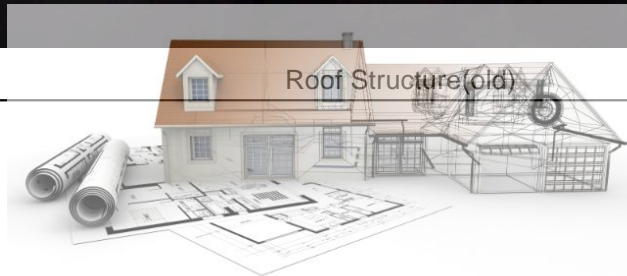




Roof Structure

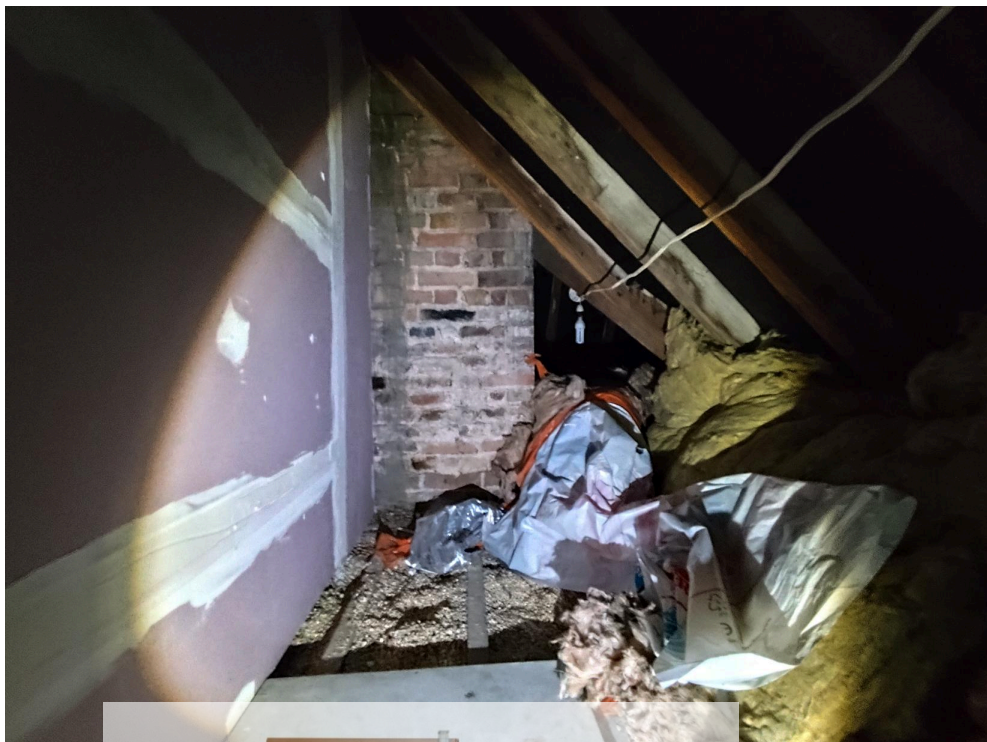


Roof Structure (old)

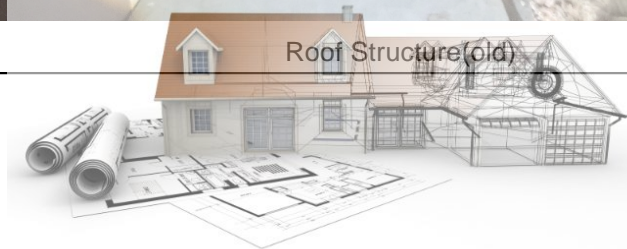




Roof Structure

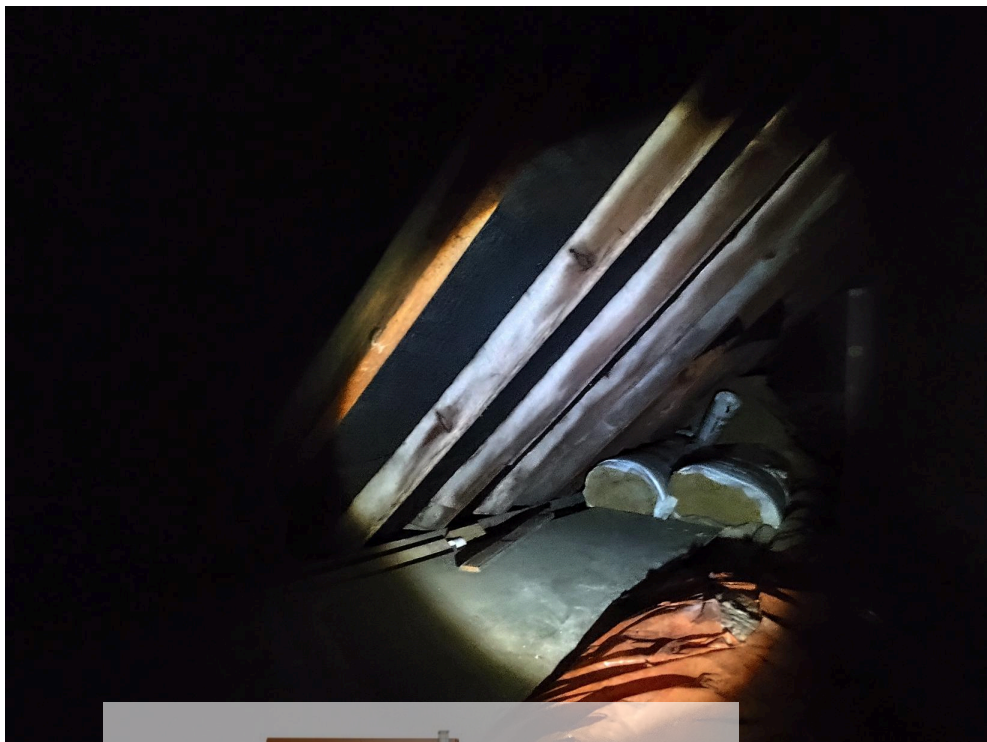


Roof Structure (old)

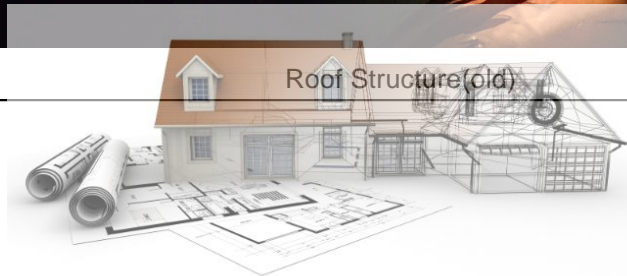





Roof Structure




Roof Structure (old)



	5.2 Ceilings	Condition rating	2
Construction & Type	The ceilings are made of lath and plaster to the original parts of the property and of plasterboard to the more recently renovated/built sections.		
Nature of inspection and Limitations	Ceilings were examined for signs of undue levels of bowing, cracking, staining and other defects. Moisture meter readings were taken at regular intervals.		
Condition	All internal ceilings have been maintained and all surfaces are presented in fair decorative order. Plasterboard There was some visible hairline cracking to the kitchen ceiling.		
Action Required	Normal future maintenance is required, including filling and redecorating any cracks as necessary.		

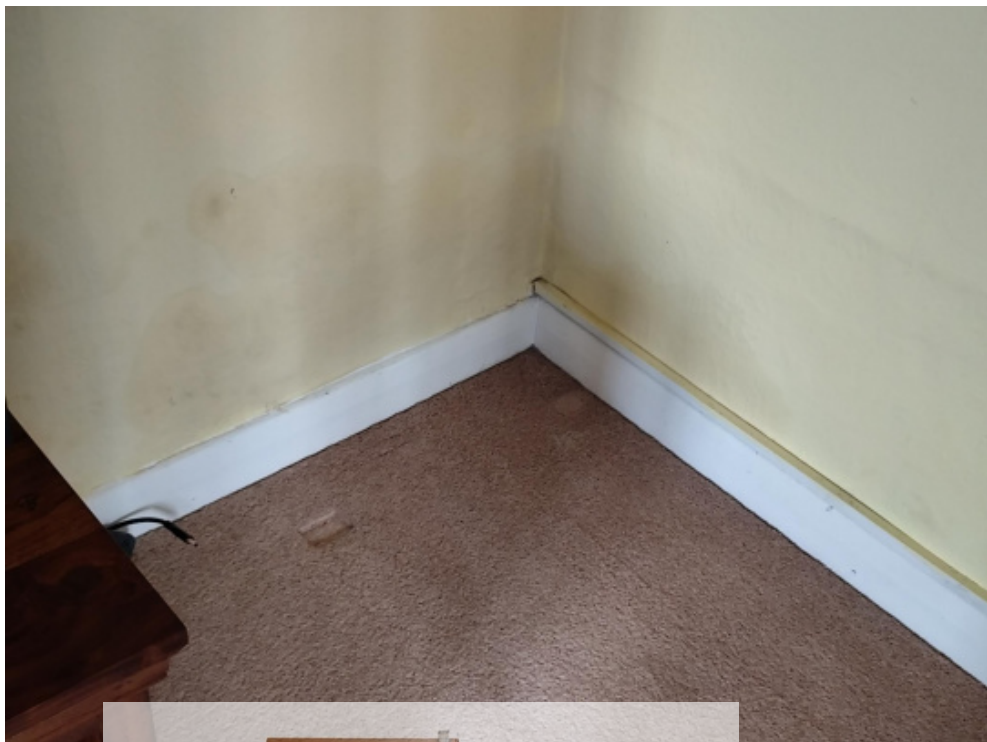


	5.3 Walls	Condition rating	3
Construction & Type	<p>The internal walls and partitions are of mixed solid and lightweight construction with a mainly plastered finish.</p> <p>The inside faces of some of the external walls have been dry-lined.</p>		
Nature of inspection and Limitations	<p>Internal walls were examined for indications of bowing, leaning, cracking and undue surface failure/damage. Moisture meter readings were taken at regular intervals where access and wall construction/location permitted.</p>		
Condition	<p>All internal walls and ceilings have been maintained and all surfaces are presented in a fair decorative order. Some general unevenness was noted. This is due to normal disturbance of the surface by decorations, minor repairs and fittings having been attached in the past.</p> <p>The lower levels of the inner faces of the party walls in the dining room and lounge both exhibited very high levels of moisture content, indicating moisture rising from ground level and not being prevented from doing so by an effective damp proof course.</p> <p>Given the high level of moisture in some of the internal walls, there is an increased probability of damage to any woodwork interfacing with it. Only an intrusive assessment would be able to assess the scope of this properly.</p> <p>As many of the internal walls had been lined, any accurate assessment of the moisture levels in the walls could only be arrived at by more intrusive examination, which was not possible on this occasion. It is likely however that the moisture levels in the walls will be high, especially in the original part of the property.</p>		
Action Required	<p>Remedies for the high level of moisture in some of the internal walls on the ground floor should be sought and quotes from local reputable damp proofing specialists obtained.</p> <p>Normal maintenance is required, including filling and redecorating cracks as necessary.</p>		





Damp wall

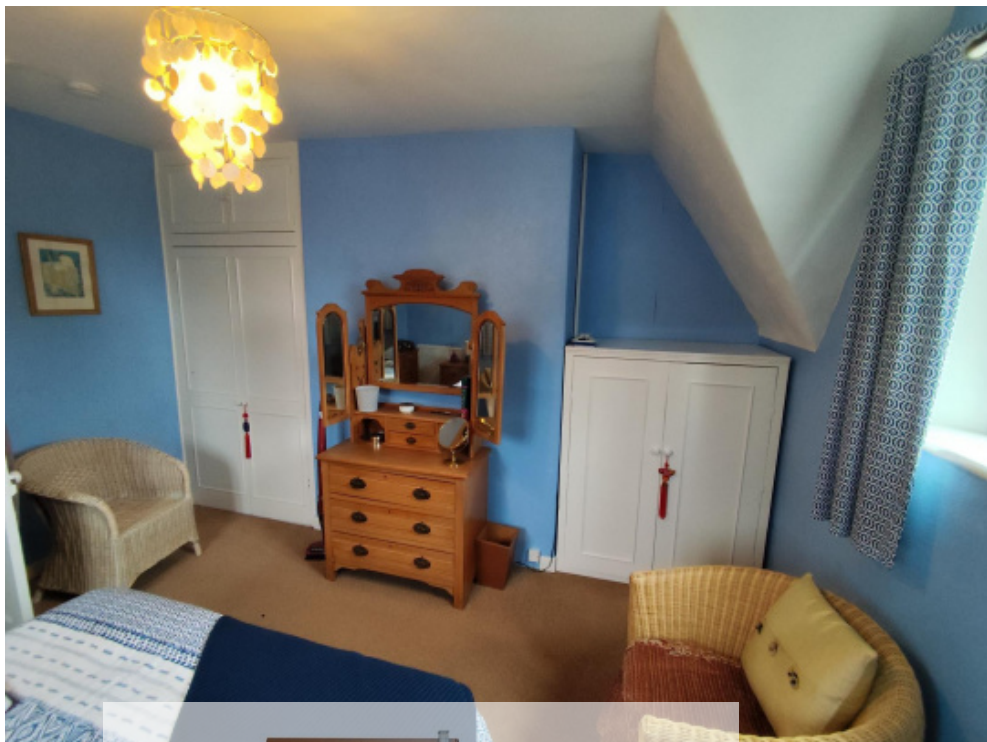


Damp wall





Bedroom walls

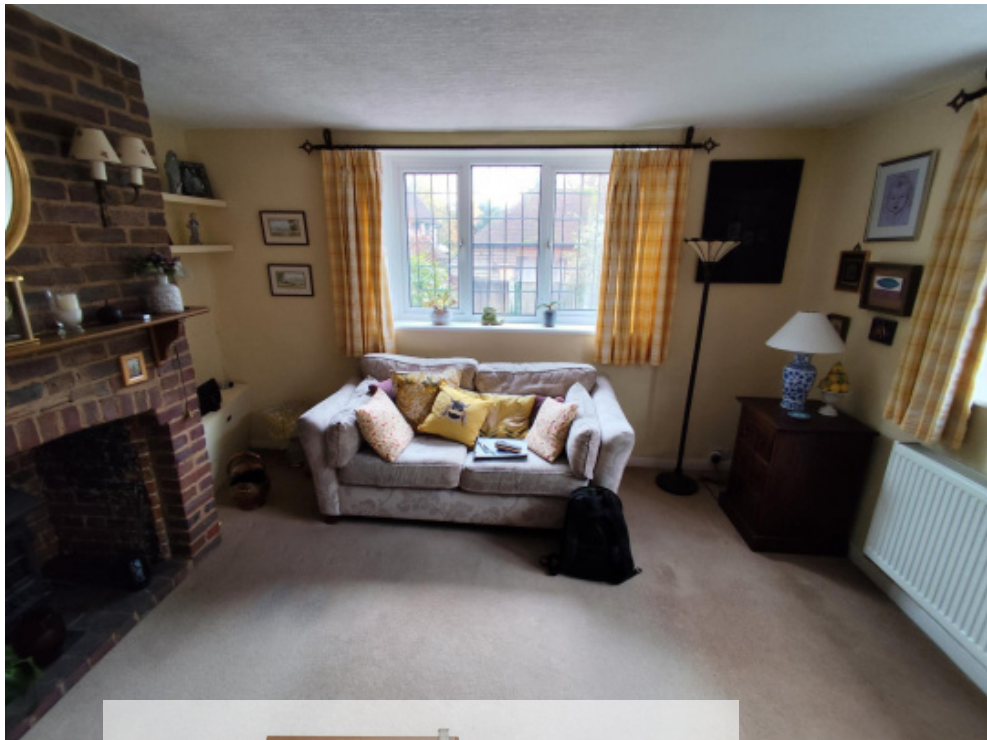


Bedroom walls






Bedroom walls



Living Room/Dining Room walls





	5.4 Floors	Condition rating	2
Construction & Type	The floors to the ground floor are of solid beam and block construction and of suspended tongued and grooved timber decking on timber floor joists to the first floors.		
Nature of inspection and Limitations	Floors were examined for sagging, hogging, unevenness, undue springiness and other signs of failure or damage. Fixed floor coverings in most rooms prevented direct examination of the floor surfaces. Tiled floors were examined for any cracked tiles which could indicate movement of the structure.		
Condition	<p>Ground Floors Solid ground floors to older properties do not all incorporate satisfactory provision for damp proofing, which would help prevent rising dampness from affecting the floors. This is not uncommon in properties of this age, type and character. Rising dampness can cause rot(fungal decay)in timbers with direct contact with the floors, eg. door frames and skirting boards. Additionally, older concrete floors do not typically incorporate any insulation.</p> <p>Construction materials used for the floors during this period can settle and cause distortion of the slab base. At the time of the survey, no evidence of any undue movement was noticed. There was no gapping between the skirting boards and the floor base. No significant defects are noted.</p> <p>Upper Floors Floors in properties of this age can be uneven and out of level. This type of unevenness is commonly found in properties of this age and type and usually reflects settlement of the structure that has occurred over a long period of time. Where significant movement of the floor structures has occurred recently, it is most commonly identified by separation of the joints of the skirting's, door frames and other associated finishes, exposure of undecorated areas where one surface has moved away from another, and unusual amounts of spring in the floor surfaces. No undue levels of movement were noted at the time of the survey.</p> <p>Isolated boards are slightly squeaky, due to being nailed rather than screwed in place. Timber floor construction is prone to misalignment or slight deflection over time, and this is not usually of significance. During the survey I didn't observe any undue levels of movement.</p>		
Action Required	Floors should be monitored for any changes that occur in their level or springiness.		






Kitchen floor



	5.5 Chimney Breasts, Fireplaces and Flues	Condition rating	3
Construction & Type	<p>The chimney breasts are of masonry construction.</p> <p>In houses built since the introduction of the 1965 Building Regulations, all flues must be built with liners during their construction. These will usually be clay liners, which should last the life of the building.</p> <p>Prior to 1965 construction was controlled by locally accepted good practice or local byelaws. This means that there can be local variations. Prior to 1965 flues were usually rendered on the inside. This was called 'parging' and would have been with a lime mortar.</p> <p>Breasts remain on both floors.</p>		
Nature of inspection and Limitations	<p>The chimney breasts were examined for indications of dampness, lack of support, failed lining and other defects. It is not possible to investigate the condition or serviceability of chimney flues for use with fixed or open fires during a survey.</p> <p>The active fireplaces were not tested during the survey. It is recommended that chimneys are swept and carefully checked before they are used in this way.</p>		
Condition	<p>Burning coal causes many problems due to the gases released during combustion. Traditional lime render used in flues was not air tight and affected by the acids and tars produced during combustion, causing it to gradually deteriorate. This leaves the flue in poor condition, often leaking fumes or tars into the walls or other parts of the building. Despite the building regulations, houses built after 1965 can suffer similar problems due to badly installed flue liners. Cracked flue linings can eventually fail, causing render to fall down the chimney leading to rubble in the fireplace.</p> <p>The acids and tars produced by burning coal can also affect the bedding mortar between the withes. This causes bricks to loosen and sometimes crack. If bricks within the withes are displaced, flues are no longer properly separated and can develop smoking and downdraft problems. Chimney sweeping can also cause damage to bricks, particularly if they have been loosened due to burning coal.</p> <p>Other problems caused by flues include rain getting into the open top. If a fire is lit regularly, then this is not a problem as the heat will keep the chimney dry. However, if fireplaces are sealed up, there's nothing to stop rain entering the top of the flue. Without the warmth from a fire, the resulting dampness within the chimney can be a problem. To prevent this, a suitable terminal should be fitted to the top of chimney pots of disused fireplaces, which stops the rain but allows ventilation. If chimney pots have been removed altogether, this could be a sign of careless work when the fireplace was decommissioned and should alert the surveyor to other potential problems in this area.</p> <p>Ventilation to the flues within the building is also necessary so that air can still enter the bottom of the flue and escape through the terminal on the stack above. It is essential that any redundant flues are fitted with suitable terminals at roof level and also that the flues are ventilated inside the house.</p> <p>Very high levels of moisture were detected in the chimney breast in the rear bedroom.</p> 		



Action Required	<p>All active flues should be checked by a reputable heating engineer specialising in flues and chimneys, prior to use.</p> <p>It is important to maintain an adequate airflow, by means of ventilation, through unused chimney flues to prevent the build-up of condensation within the chimney. Ventilation grilles should be fitted to all blocked breasts.</p> <p>Remedies should be sought to prevent the ingress of water to the chimney breasts directly below.</p>
	 <p>Wood burning stove</p>






Damp chimney breast



	5.6 Built-In Fittings	Condition rating	1
Construction & Type	The kitchen fittings are basic.		
Nature of inspection and Limitations	The kitchen units and utility room were examined for general condition. A selection of cupboards and drawers were checked for normal operation. Built-in appliances were not checked for operation or safety. No significant defects or damage was noted.		
Condition	No Significant Defects are Noted.		
Action Required	Normal Maintenance is Required		
	 <p style="text-align: center;">Kitchen</p>		





	5.7 Internal Joinery	Condition rating	2
Construction & Type	The internal woodwork includes such items as: doors, frames, skirting boards, banisters and staircases.		
Nature of inspection and Limitations	<p>The internal doors were checked for normal operation and other woodwork examined for a range of defects.</p> <p>The woodwork was also examined for evidence associated with movement of the structure of the property, woodworm and other infestations, and general condition. Moisture meter readings were taken at regular intervals.</p>		
Condition	<p>The stair balustrades and handrails are of softwood construction and of suitable quality. All parts were firm with no undue levels of movement during usage. The gaps between the balustrades, the pitch level and head heights are compliant with current regulations.</p> <p>As mentioned in 4.4 most properties are subject to slight settling down over the years as sub-soil consolidates and adjusts to changes in ground condition. This will frequently result in limited differential movement, which is often expressed as minor cracking or distortion of window and door openings and is rarely of structural significance. All internal doors were in fair alignment with no undue movement noticed to the frames. All doors operated effectively.</p> <p>The head heights to the doorways in bedroom 1 and 2 were low.</p>		
Action Required	Door hinges and locks should be regularly lubricated. Internal timbers should be inspected regularly for evidence of bowing or distortion, woodworm and other defects.		





Staircase



	5.8 Bathroom and Sanitary Fittings	Condition rating	1
Construction & Type	<p>The main bathroom is on the first floor and comprises a shower, WC and basin.</p> <p>There is also a ground floor cloakroom with a WC and basin.</p>		
Nature of inspection and Limitations	<p>The fittings were checked for signs of damage, cracks, leaking pipes and other common defects. Sealant joints were checked for undue wear and failure. All fittings were checked for normal operation – WC's were all flushed at least twice to ensure correct drainage and flow.</p>		
Condition	<p>There is mechanical ventilation to the bathroom. This should be kept operational as it reduces the levels of moisture within the room and hence the risk of condensation to the walls and ceiling structures.</p> <p>No significant defects are noted, all fittings operated as required with water pressures at fair levels.</p>		
Action Required	<p>Regular maintenance of all seals to the bath and shower to prevent water displacement.</p>		
	 <p>Shower room</p>		





Section 6 - Services

Scope of survey

A visual non-invasive inspection of the services was carried out. Specialist tests were not conducted but services were checked through their normal operation in everyday use. If any services (such as the boiler or mains water) were turned off, they were not turned on for safety reasons and the report will state that to be the case.

The reports only comments on the services covered in this section (electricity, gas, oil, water, heating and drainage).

All other services and domestic appliances are not included in the inspection: for example security and door answering systems, smoke alarms, television, cable, wireless and satellite communication systems, cookers, hobs, washing machines and fridges (even where built in).

Competent Person Schemes

Competent person self certification schemes (commonly referred to as competent person schemes) were introduced by the Government in 2002 to allow registered installers (i.e. businesses, mostly small firms or sole traders), who are competent in their field, to self-certify certain types of building work as compliant with the requirements of the Building Regulations.

These schemes offer benefits to the building industry and consumers:

- scheme members save time by not having to notify in advance and use a building control body (i.e. a local authority or a private sector approved inspector) to check/inspect their work
- consumers benefit from lower prices as building control charges are not payable.


The schemes help to tackle the problem of cowboy builders by raising standards in the industry and enabling consumers to identify competent installers. They also allow building control bodies to concentrate their resources on areas of higher risk.

Any works undertaken to these services should be carried out only by a suitably qualified competent person.

Examples of Competent person schemes are Gas Safe Register, CIGA, CERTASS, Competent Roofer, FENSA, HETAS, NAPIT, OFTEC.

6.1	Electricity
6.2	Gas / Oil
6.3	Water
6.4	Heating and Cooling
6.5	Drainage
6.6	Other Services




	6.1 Electricity	Condition rating	HS
Construction & Type	<p>There is an underground electrical supply and the meter and consumer unit [fuse box] are located in a cupboard in the lounge.</p> <p>The consumer unit is a modern unit with MCB's (miniature circuit breakers) and also an RCD (Residual Current Device).</p>		
Nature of inspection and Limitations	<p>The installation was inspected visually to the extent sufficient to form an overall opinion of the type of installation, the materials used, its apparent age, its visible condition and the need for further investigations. No testing of the installations or appliances was carried out other than operation in normal everyday use.</p>		
Condition	<p>In general, the electrical circuits seen are in fair condition. PVC cabling was observed at the property and the socket faceplates and switch plates are of suitable modern quality. However in some rooms, there is an insufficient number of sockets for modern living standards, this means a level of new circuitry or rewiring may be required.</p>		
Action Required	<p>Some services will be obscured by furniture and other objects at the time of the survey. Upon occupation, it is strongly advisable to visually check all socket outlets and switch points for any broken housings or loose fascias. Any damage seen should be repaired accordingly.</p> <p>The electrical installation may have been deemed satisfactory when it was first installed, but since then, there may have been changes made to the electrical system in the property and also to the standards that these installations should adhere to. As there is no evidence of regular maintenance and/or recent certificates to attest to the safety of the currently installed system, it is recommended that you instruct a specialist inspection by a competent electrician (preferably NICEIC registered) and any recommendations given should be implemented.</p> <p>The NICEIC recommends that electrical installations are subjected to an Electrical Installation Condition Report (EICR) by a suitably qualified engineer at least every 10 years.</p>		





Electric Meter and Consumer Unit




	6.2 Gas / Oil	Condition rating	HS
Construction & Type	There is a mains gas supply and the meter and valve are located in a cupboard under the stairs.		
Nature of inspection and Limitations	The system was inspected for any obvious signs of leakage and damage to the supply pipes where visible.		
Condition	No significant defects were noted but see health and safety advice below.		
Action Required	<p>Advice: Gas Safe recommends that all gas appliances and boilers are inspected and serviced according to manufacturers' guidance, but at least once a year. At the time of the survey, no documentation was seen to verify that an inspection or servicing has been carried out within the last 12 months but the vendor advised that the boiler is on an annual service schedule. From a health and safety perspective, it is recommended that you validate any available certification, or commission an inspection and servicing of the gas installation and ALL appliances (including the boiler, gas fire and gas hob) prior to occupation of the property.</p> <p>As the property is currently inhabited the system should be in use. In addition, the boiler is a fairly recent model. These observations reduce the risk of any hidden issues but it is still advisable to seek confirmation as to the operational safety of the complete system.</p> <p>The Gas Safe website called 'Buying a new home', it states: 'Homebuyers cannot always be sure when the gas appliances in their new home were last safety checked and serviced. Ask your vendor for an annual gas safety record which shows that a Gas Safe registered engineer has checked the gas appliances. If your vendor cannot supply an up to date annual gas safety record, you should get a Gas Safe registered engineer to check the gas appliances before you move in. This check should include the gas boiler, oven, and hob and gas fire. The registered engineer will give the vendor a gas safety record, which they should hand over to you before you move in. Better Gas Safe than sorry. Poorly maintained or badly fitted gas appliances can put you at risk from gas leaks, explosions, fires and carbon monoxide poisoning.'</p> <p>'Safety check' - As a minimum, this must check:</p> <ul style="list-style-type: none"> •Appliances are positioned in the right place; •Any flue or chimney serving appliances are safe and installed correctly; •There is a good supply of combustion air (ventilation) to appliances; •The appliances are on the right setting and are burning correctly; the appliances are operating correctly and are safe to use. 		




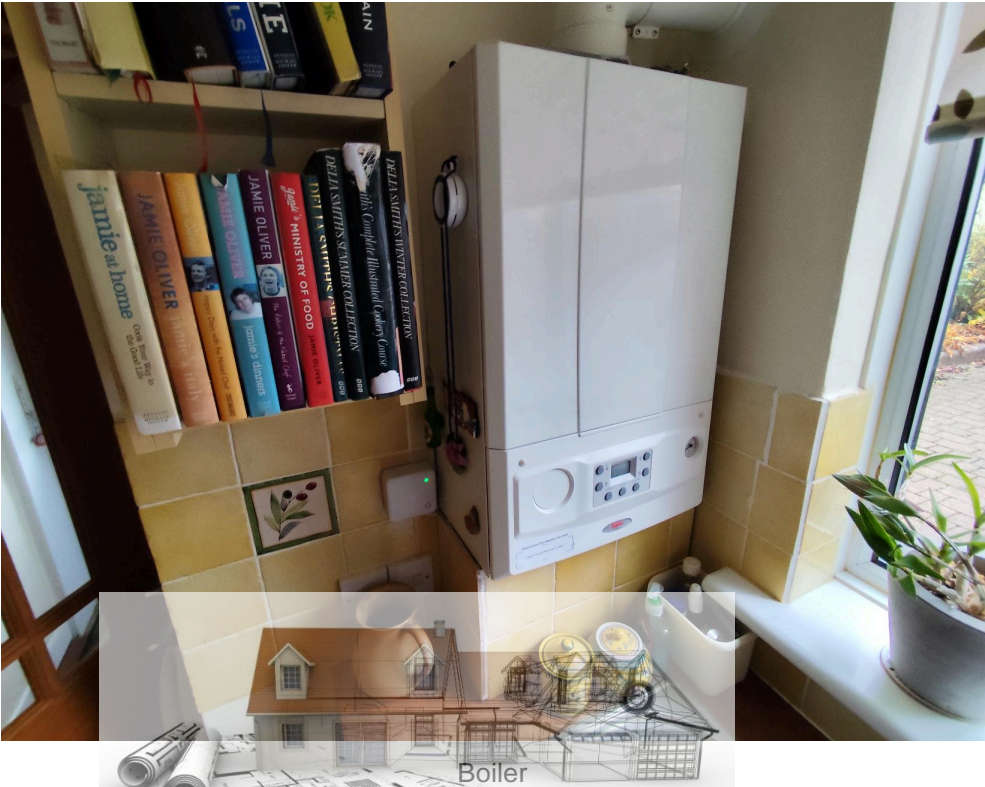


Gas Meter



	6.3 Water	Condition rating	1
Construction & Type	<p>There is a mains water supply.</p> <p>The water installation is of the more modern unvented system style. This does not require a cold water storage tank; all the cold water draw-off points are fed directly off the mains supply. There are no water storage facilities (hot or cold) at the property.</p>		
Nature of inspection and Limitations	<p>The visible parts of the system were checked for any obvious signs of leaking, damaged pipes, correct covering and insulation, and other evidence of defects. Water taps were operated to check for flow pressure and correct drainage.</p>		
Condition	<p>No significant defects are noted, all fittings operated as required with water pressures at fair levels.</p>		
Action Required	<p>Check the installation for evidence of leaks or other defects on a regular basis i.e. approximately every 6 months, or sooner. Leaks most often occur at pipe joints and where pipes are subject to movement or physical damage, such as airing cupboards, roof spaces and under sinks.</p>		



	6.4 Heating and Cooling	Condition rating	HS
Construction & Type	<p>The boiler is an Alpha Evoke 33 condensing combi model. It provides heat to the property via the hot water radiator system. It also provides hot water on demand to the hot water taps. On the SEDBUK efficiency database, this boiler is rated as 90% efficient and this particular model was first manufactured 2017 – although this installed boiler is probably younger. As a guide, modern condensing boilers are around 90% efficient. Condensing boilers of this type are the most efficient type available at present.</p> <p>There are TRV's (thermostatic radiator valves) on most radiators for individual room temperature control.</p>		
Nature of inspection and Limitations	<p>It is not possible to fully assess the condition and safety of a gas and heating installation on the basis of a visual inspection only. A visual inspection was carried out of the radiators, pipework and boiler to detect leaks, corrosion and other common defects.</p>		
Condition	<p>It is recommended that you establish the service history of the gas boiler before you purchase, as only regular servicing by a competent person can ensure efficiency and safety. If these questions suggest that previous maintenance has been poor, you should instruct a competent person to check the whole system before you purchase.</p>		
Action Required	<p>Health and Safety – See also notes in 6.2 regarding the general safety and servicing of the complete Gas system.</p>		
			

Building Control – Building Control Summary

CP/22/04132/GASAFE | Install a gas-fired boiler | Martin Cottage 2 Wheelers Lane Linton Maidstone Kent ME17 4BL

Property 200003662980

★ Tr

Details

Documents (0)

Related Cases (1)

Summary

Further Information

Plots

Important Dates

Description Of Works	Install a gas-fired boiler
Site Address	Martin Cottage 2 Wheelers Lane Linton Maidstone Kent ME17 4BL
Application Reference Number	CP/22/04132/GASAFE
Valid Date	Thu 28 Apr 2022
Decision Date	Not Available
Status	Building Work Complete


There are 0 documents associated with this application.

There are 0 cases associated with this application.

There is 1 property associated with this application.

gas boiler install



	6.5 Drainage	Condition rating	NI
Construction & Type	<p>Foul drainage: The property is connected to the main sewer, which I have assumed has been adopted and maintained at public expense. Your Legal Advisers should be able to confirm this. The soil vent pipe is located to the rear of the property and is made of plastic. It was not possible to inspect all of the manholes as not all could be accessed and much of the underground pipework could not be inspected at all. Only a comprehensive inspection by a specialist contractor can be relied upon to produce a detailed survey of the limitations or otherwise of the current system.</p> <p>Surface water drainage: Rainwater from the downpipes is likely to drain to soakaways(usually pits filled with rubble) or a separate drainage system running parallel to the foul drainage. Without excavation, the layout could not be confirmed, but there were no signs of flooding or blockages at the time of the inspection.</p>		

	6.6 Other Services	Condition rating	NA
Construction & Type	NA		





Section 7 - External Elements



Scope of survey

The condition of the boundary walls and fences, outbuildings and areas in common (shared) use was inspected from within the grounds and any public areas, but not from neighbouring private property.

The report provides a summary of the general condition of any garden walls, fences and permanent outbuildings. Buildings containing swimming pools and sports facilities are treated as outbuildings, but the report does not comment on the leisure facilities, such as the pool itself and its equipment.

7.1	Garaging
7.2	Outbuildings and Sheds
7.3	Grounds
7.4	Common and Shared Areas
7.5	Neighbourly Matters





	7.1 Garaging	Condition rating	2
Construction & Type	The garage is of block and concrete panel construction with a flat roof covered in a corrugated material that probably contains asbestos material. The garage is accessed via a vehicle metal up-and-over door to the front.		
Nature of inspection and Limitations	It was examined from ground level for signs of bowing or leaning of walls, damaged brickwork, render and pointing, internal defects, and the condition of the roof both internally and externally.		
Condition	<p>There is no evidence of moisture penetration and/or rot</p> <p>There is no cracking to the external walls</p>		
Action Required	Normal maintenance, including regular retreatment of the walls, is required.		
	 <p style="text-align: center;">Garage</p>		





Garage interior




	7.2 Outbuildings and Sheds	Condition rating	2
Construction & Type	The garden sheds and Summerhouse are of timber construction.		
Nature of inspection and Limitations	It was not possible to access the rear of the sheds due to the proximity of the boundary and foliage growth.		
Condition	The sheds is in a fair condition for their age.		
Action Required	Normal maintenance, including regular retreatment of the walls, is required.		
	 <p style="text-align: center;">Summerhouse</p>		





Garden Shed

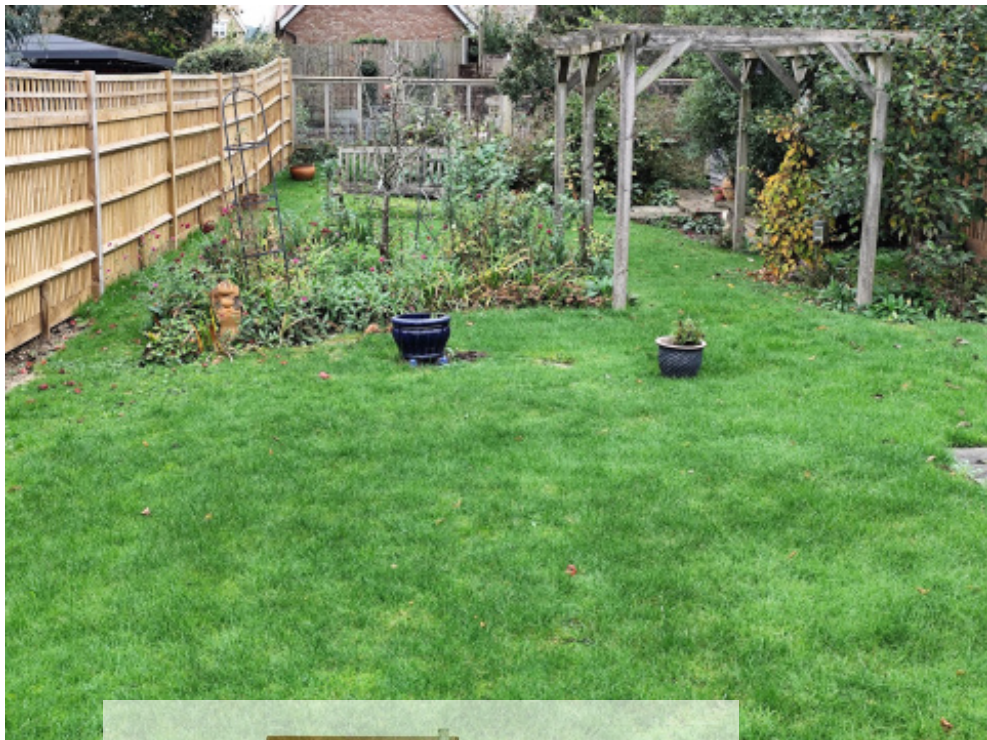


	7.3 Grounds	Condition rating	2
Construction & Type	<p>There are gardens to the front and rear which are mostly lawned with surrounding borders.</p> <p>There are paths, a patio and other paving around the property which are of stone slabs to the rear and clay bricks to the front.</p> <p>The driveway is to the front of the property and is laid to paviors.</p> <p>The boundaries are defined by timber panel fencing.</p>		
Nature of inspection and Limitations	<p>The grounds around the house were inspected for any indications of land failure or movement, or other defects that would have a material effect on the property as a whole.</p> <p>It should be noted that a full and detailed inspection for the presence of Japanese Knotweed cannot be carried out especially where the gardens are well stocked or have been recently cut and maintained. No evidence of the presence of Japanese Knotweed was seen during my inspection but you are advised to seek further advice if you believe it may be present or are aware that it is present in premises nearby.</p>		
Condition	<p>There is no evidence of any damage from flooding.</p> <p>The gardens are both presented in a maintained condition.</p> <p>The driveway surface is in a serviceable condition and is reasonably level.</p> <p>The boundary fences are presented in fair condition but some minor repairs are required to some panels. (There is no indication of the ownership of any of the boundary walls, fences or hedges, and in most cases, this is not specified by the deeds or title documents. Often, responsibility for boundaries to one side or another has been assumed by subsequent owners. You should ask your conveyancer to advise on any indications of ownership included in the title documents.)</p>		
Action Required	Normal Maintenance is Required.		





Front Garden



Rear Garden







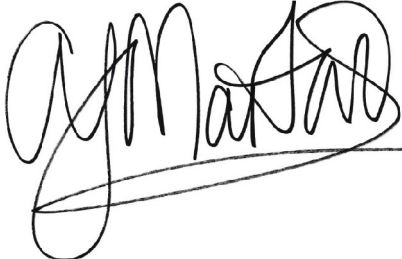
Rear Garden



	7.4 Common and Shared Areas	Condition rating	NA
Construction & Type	There were no common or shared areas noted at the property.		

	7.5 Neighbourly Matters
Observations	<p>A general unspecific overview of the immediate local area was carried out during the course of the survey, to identify issues that might affect the normal enjoyment of the property.</p> <p>No obvious causes of concern were noted however it cannot be known if issues are present at other times.</p> <p>You are advised to visit the property on a number of occasions at different times of the day and night to form an opinion of any factors that might be relevant</p>



	Section 8 Addendum 8.1 - About your Surveyor		
Surveyor	Andrew Martin MRPSA MFPWS		
Address	Domestic Property Surveys Ltd 100 High St Whitstable CT5 1AZ		
Contact Details	Telephone	0800 772 3225	
	Mobile	07500 929345	
	Email	info@domesticproperty-surveys.co.uk	
Signed (electronic signature)		Date Finalising Report	1 Nov 2024





8.2 - Maintenance advice

Your home needs maintaining in the normal way, and this general advice may be useful when read together with your report. It is not specific to this property and does not include comprehensive details. Problems in construction may develop slowly over time.

Outside

You should check the condition of your property at least once a year and after severe weather. Routine redecoration of the outside of the property will also give you an opportunity to closely examine the building.

Chimney stacks: Check these occasionally for signs of cracked cement, split or broken pots, or loose and gaping joints in the brickwork or render. Storms may loosen aerials or other fixings, including the flashings, the materials used to form the joints with the roof coverings.

Roof coverings: Check these occasionally for slipped, broken and missing tiles or slates, particularly after severe weather.

Flat roofing has a limited life, and is at risk of cracking and blistering. You should not walk on a flat roof. Where possible keep it free from debris. If it is covered with spar chippings, make sure the coverage is even, and replace chippings where necessary.

Rainwater pipes and gutters: Clear any debris at least once a year, and check for leaks when it is raining. You should also check for any loose downpipe connectors and broken fixings.

Main walls: Check main walls for cracks and any uneven bulging. Maintain the joints in brickwork and repair loose or broken rendering. Re-paint decorated walls regularly. Cut back or remove any plants that are harmful to mortar and render. Keep the soil level well below the level of any damp proof course (150mm minimum recommended) and make sure any ventilation bricks are kept clear. Check over cladding for broken, rotted or damaged areas that need repairing.

Windows and doors: Once a year check all frames for signs of rot in wood frames, for any splits in plastic or metal frames and for rusting to latches and hinges in metal frames. Maintain all decorated frames by repairing or redecorating at the first sign of any deterioration. In autumn check double glazing for condensation between the glazing, as this is a sign of a faulty unit. Have broken or cracked glass replaced by a qualified specialist. Check for broken sash cords on sliding sash windows, and sills and window boards for any damage.

Conservatories and porches: Keep all glass surfaces clean, and clear all rainwater gutters and down pipes. Look for broken glazing and for any leaks when it's raining. Arrange for repairs by a qualified specialist.

Other woodwork and finishes: Regularly redecorate all joinery, and check for rot and decay which you should repair at the same time.

Grounds

Garages and outbuildings: Follow the maintenance advice given for the main building.

Other: Regularly prune trees, shrubs and hedges as necessary. Look out for any overhanging and unsafe branches, loose walls, fences and ornaments, particularly after severe weather. Clear leaves and other debris, moss and algae growth. Make sure all hard surfaces are stable and level, and not slippery or a trip hazard.





8.2 - Maintenance advice (contd)

Inside the property

You can check the inside of your property regularly when cleaning, decorating and replacing carpets or floor coverings. You should also check the roof area occasionally.

Roof structure: When you access the roof area, check for signs of any leaks and the presence of vermin, rot or decay to timbers. Also look for tears to the under-felting of the roof, and check pipes, lagging and insulated areas.

Ceilings: If you have a leak in the roof the first sign is often damp on the ceiling beneath the roof. Be aware if your ceiling begins to look uneven as this may indicate a serious problem, particularly for older ceilings.

Walls and partitions: Look for cracking and impact damage, or damp areas which may be caused by plumbing faults or defects on the outside of the property.

Floors: Be alert for signs of unevenness when you are moving furniture, particularly with timber floors.

Fireplaces, chimney breasts and flues: You should arrange for a qualified specialist to regularly sweep all used open chimneys. Also, make sure that bricked-up flues are ventilated.

Flues to gas appliances should be checked annually by a qualified gas technician.

Built-in fittings: Check for broken fittings.

Services

Ensure all meters and control valves are easy to access and not hidden or covered over.

Arrange for a competent person to check and test all gas and oil services, boilers, heating systems and connected devices once a year.

Electrical installations should only be replaced or modified by a competent person and tested as specified by the Electrical Safety Council (recommended minimum of a ten year period if no alterations or additions are made, or on change of occupancy).

Monitor plumbing regularly during use. Look out for leakage and breakages, and check insulation is adequate particularly as winter approaches.

Lift drain covers annually to check for blockages and clean these as necessary. Check any private drainage systems annually, and arrange for a qualified contractor to clear these as necessary. Keep gullies free from debris.





8.2 - Maintenance advice (contd)

Important information for purchasers of older, listed and historic properties

Modern properties, those built after 1900 or so, are essentially constructed as sealed boxes which are designed to keep all moisture out. This is achieved by the use of impermeable membranes at ground level (such as a damp proof course) to prevent moisture rising up from the ground below, and cavity walls which are designed to prevent moisture penetrating through the walls. Windows and doors are made to seal tightly, and most houses built today are constructed without any chimneys at all.

In this type of property, where dampness is found inside then it is generally due to some specific defect which will require repair.

Older properties, generally those built before 1850 or so, were constructed in a very different way, and one in which moisture will naturally enter the property. They do not have damp proof courses or cavity walls and are not intended to be a sealed unit.

However, these properties are designed to manage the movement of moisture in such a way as to prevent it becoming a hazard to health or to the structure of the building, and it is important to understand the mechanisms by which it does this in order to protect the structural elements of the building from becoming defective.

At the time that these properties were constructed it was the normal for them to have many openings where draughts could enter the building, such as multiple open fireplaces, ill-fitting doors and windows, and gaps in floorboards. As a result, ventilation levels were very high, allowing moisture to evaporate readily in the moving air, and to be carried away to the outside. So, for example, where moisture penetrated the walls, although the inside surfaces of those walls would be damp, the levels of moisture would achieve equilibrium as the rate of evaporation compensated for the rate of penetration.

Today, we try to minimise draughts by blocking fireplaces, adding secondary or double glazing, laying laminate floors and sealing the gaps around doors and windows. As a result moisture levels rise due to the decreased air movement that is a consequence of the reduced ventilation. This then leads to dampness becoming evident, particularly in areas of minimal air movement, such as behind large objects of furniture and within cupboards and wardrobes.

Many older homes were built at a time when lime mortar was the primary method of setting bricks and stones. Lime mortar is both flexible and porous, unlike the very hard, inflexible and nonporous cement mortars used in more modern construction. Lime mortar, therefore, allows the moisture evaporation process to continue by acting as a wick for moisture to leave the main walls between the bricks and/or stones that make up the bulk of the wall. This is a further step in the process of managing moisture within the property.

Today, we see many repairs carried out to older homes using cement mortar. This seals the gaps between the bricks and/or stones, trapping the moisture in the wall and forcing it into the surface of the bricks and stones, causing them to fail when that moisture freezes in the surface of those materials. And by reducing the amount of moisture that can evaporate through the wall to the outside, it increases dampness levels inside.

As a result of the actions described above, it is common, today, to find higher than average moisture levels in older properties. The consequences of this can cause significant defects within the property. In particular, high moisture levels, especially in roof spaces and cellars, can promote the development of wood boring insects such as Common Furniture Beetle, and Death Watch Beetle in structural timbers such as roof and floor joists. High levels of dampness in walls causes plaster to fail, decorations to become damaged, and in some properties, significant damage to the timber frame of the building.



To avoid these defects developing and becoming a serious threat to the building, it is important to be aware of the consequences of any actions which may have an impact on moisture management within the building. The following is a list of suggestions and recommendations that will help maintain the building in a good and sound condition. It is by no means an exhaustive list and it is recommended that all owners of listed, historic and older buildings inform themselves of the best way to protect such a property.

1. Consider ways to improve ventilation within the property. This may include the installation of mechanical extractors in kitchens and bathrooms, removing secondary glazing units, ensuring that windows can be opened easily and that they are used regularly, removing insulation from the eaves area of the roof where it may block ventilation, and not leaving the property closed up and unoccupied for extended periods.

2. Where repairs are necessary, ensure they are carried out by tradespeople who are knowledgeable and competent in traditional building methods and that materials are sympathetic to those used originally. In particular, where walls are to be repointed, then lime mortar (which is very different from cement mortar with some lime added!) should be used and any earlier cement mortar repairs removed and refinished.

3. Ensure that the guttering and rainwater handling systems are in a well maintained and fully operative condition. Very significant damage can be caused in a very short period of time due to simple leaking gutters, downpipes, hoppers and other elements of the rainwater handling systems. It is therefore essential that these are inspected regularly, at least three or four times a year, and any damages or defects repaired as quickly as possible. In particular they should be cleared after autumn leaf fall to ensure they are as effective as possible during the winter.

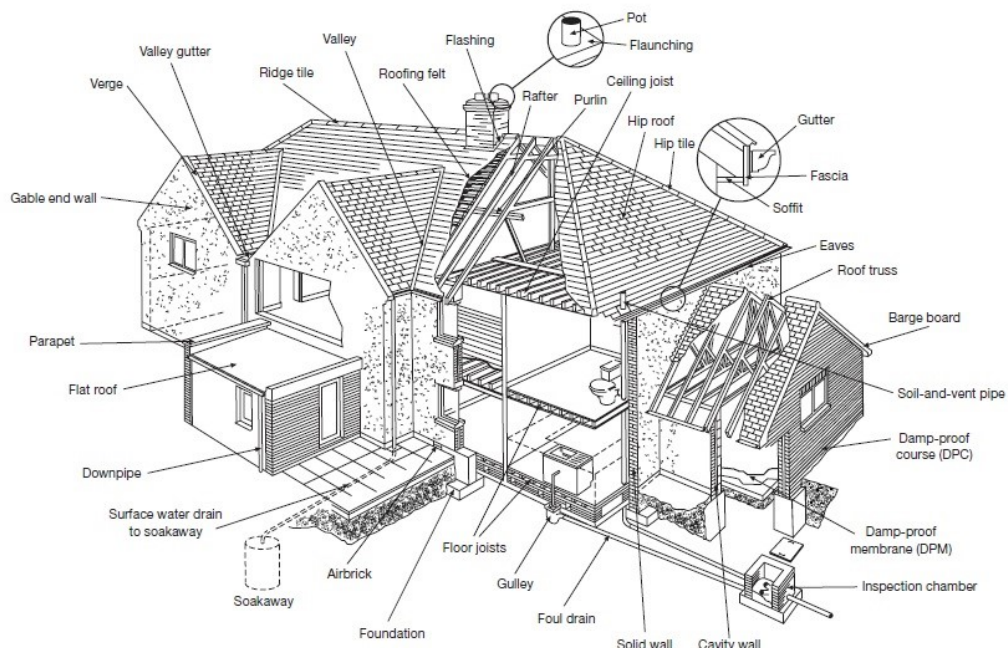
4. Maintain a regular and vigilant inspection process. Unidentified or unrepaired defects can rapidly become more significant, and therefore more costly to repair. A regular process of inspection is more likely to ensure that defects identified at an early stage and can be rectified before further damage is caused. Such a process should include inspection of all the outside elements such as chimneys, roofs, walls, guttering and downpipes, windows and doors and roof edge timbers etc. Internal inspections should include a detailed examination of the roof timbers, moving of large objects of furniture to assess the wall condition behind, examination of floors, doors and timber fittings to identify signs of movement, and the condition of the heating and plumbing systems to ensure no leaks are present. This is in addition to a general and normal maintenance programme.

5. Avoid the introduction of unnecessary interventions. Many companies will recommend the use of chemical processes, such as spraying of timbers or injection of damp proof courses, as a means of rectifying the effects of dampness. In most cases, in respect of older properties, these processes are completely unnecessary, usually ineffective, and in many instances counter-productive. Attempting to prevent the passage of moisture through a wall which was always intended to be damp is unlikely to affect a cure. In fact, it is likely to push the problem elsewhere, and may cause even more significant damage.

Remember that, if the property is listed, any works you wish to carry out may require Listed Building Consent, and it is always best to check with the local authority Conservation Officer before undertaking any activities.

There are many useful resources of information available from, for instance English Heritage, and the Society of Protection of Ancient Buildings, which can help you in understanding how to manage an older property in a sympathetic and considered way. It is strongly recommended that you gain an understanding of the means and methods that they advocate in order to protect your investment.







8.3 – Customer Care

Customer Care

At Domestic Property Surveys Ltd our aim is to provide the best level of service possible and we go to very great lengths to ensure that the survey report we have prepared for you is as accurate, informative and complete as possible.

It is possible, however, that for some reason we have not met your expectations in some way and that you wish to raise a concern. We will treat any concerns positively and recognise that they are a means of identifying improvements which can be made to our service delivery standards. We will deal with any concerns quickly and will take prompt action to resolve them.

How to contact us

There are several ways you can contact us:

- You can call us by telephone - 0800 772 3225
- You can email us at info@domesticpropertysurveys.co.uk
- You can write to us at our office, Domestic Property Surveys Ltd, 100 High St Whitstable CT5 1AZ

